

MADONNA ROAD APARTMENTS

A RENOVATION AND UPGRADE PROJECT


1550 MADONNA ROAD,
SAN LUIS OBISPO, CALIFORNIA

SPECIAL NOTE

REMODELING PRE-1978 STRUCTURES WITHOUT USING **LEAD SAFE WORK PRACTICES** IS A VIOLATION OF CALIFORNIA HEALTH AND SAFETY CODE SECTION 105256. CONTRACTORS, REMODELERS, AND PAINTERS ARE REQUIRED TO USE "LEAD SAFE" WORK PRACTICES PURSUANT TO TITLE 17, CA CODE OF REGULATIONS SECTION 36050. CONSTRUCTION DEBRIS KNOWN TO CONTAIN LEAD-BASED PAINT MUST BE DISPOSED OF AT AN APPROVED LOCATION. CONTACT UTILITIES CONSERVATION AT 781-7213

STATEMENT OF COMPLIANCE

THIS PROJECT HAS, TO THE BEST OF MY KNOWLEDGE AND UNDERSTANDING, BEEN DESIGNED IN ACCORDANCE WITH AND MEETS THE SAN LUIS OBISPO CITY ADOPTED CODE AND ORDINANCE REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, THE CALIFORNIA STATE ACCESSIBILITY STANDARDS AND IWE WILL BE RESPONSIBLE FOR ALL CLARIFICATIONS DEEMED NECESSARY DURING THE CONSTRUCTION PHASES.


BRUCE FRASER, PROJECT ARCHITECT OF RECORD

C 9787
LICENSE NUMBER

SPECIAL INSPECTIONS

SPECIAL INSPECTION SHALL BE PROVIDED IN CONFORMANCE WITH REQUIREMENTS OF CBC CHAPTER 17 FOR DRYPACK AT LIGHT FIXTURE STANDARD.

THE WORK DESCRIBED IN THESE CONSTRUCTION DOCUMENTS DOES NOT INCLUDE ITEMS THAT REQUIRED SPECIAL INSPECTIONS AS DEFINED IN CALIFORNIA BUILDING CODE SECTIONS 1704, 1707 AND 1708.

DEFERRED SUBMITTALS

THE WORK DESCRIBED IN THESE CONSTRUCTION DOCUMENTS DOES NOT INCLUDE ITEMS THAT WILL BE REVIEWED AND APPROVED AS DEFERRED SUBMITTALS ALLOWED BY THE SAN LUIS OBISPO BUILDING DEPARTMENT UNDER CALIFORNIA BUILDING CODE GENERAL REQUIREMENTS.

ADDITIONAL PERMITS

WORK ASSOCIATED WITH THE PROJECT DESCRIBED IN THESE CONSTRUCTION DOCUMENTS WHICH WILL BE SEPARATELY SUBMITTED FOR PERMIT REVIEW AND APPROVAL INCLUDES:

- COMPLETE SOLAR PHOTOVOLTAIC ELECTRIC GENERATING SYSTEM, INCLUDING ATTACHMENT TO PROJECT POWER DISTRIBUTION SYSTEM, FOR A CONSTRUCTION PERMIT.
- CONSTRUCTION OCCURRING IN THE PUBLIC RIGHT-OF-WAY, FOR AN ENCROACHMENT PERMIT.

A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY OR WITHIN CITY EASEMENTS FOR CONNECTIONS TO PUBLIC UTILITIES. WORK REQUIRING AN ENCROACHMENT PERMIT INCLUDES BUT IS NOT LIMITED TO DEMOLITIONS, UTILITIES, WATER, SEWER, AND FIRE SERVICE LATERALS, CURB, GUTTER, AND SIDEWALK, DRIVEWAY APPROACHES, SIDEWALK UNDERDRAINS, STORM DRAIN IMPROVEMENTS, STREET TREE PLANTING OR PRUNING, CURB RAMPS, STREET PAVING, AND PEDESTRIAN PROTECTION OR CONSTRUCTION STAGING IN THE RIGHT-OF-WAY.

CONTACT THE PUBLIC WORKS INSPECTION HOTLINE 781-7554 WITH AT LEAST 48 HOURS NOTICE FOR ANY REQUIRED ENCROACHMENT PERMIT INSPECTION OF FINAL INSPECTION.

A TRAFFIC AND PEDESTRIAN CONTROL PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO ENCROACHMENT PERMIT ISSUANCE.

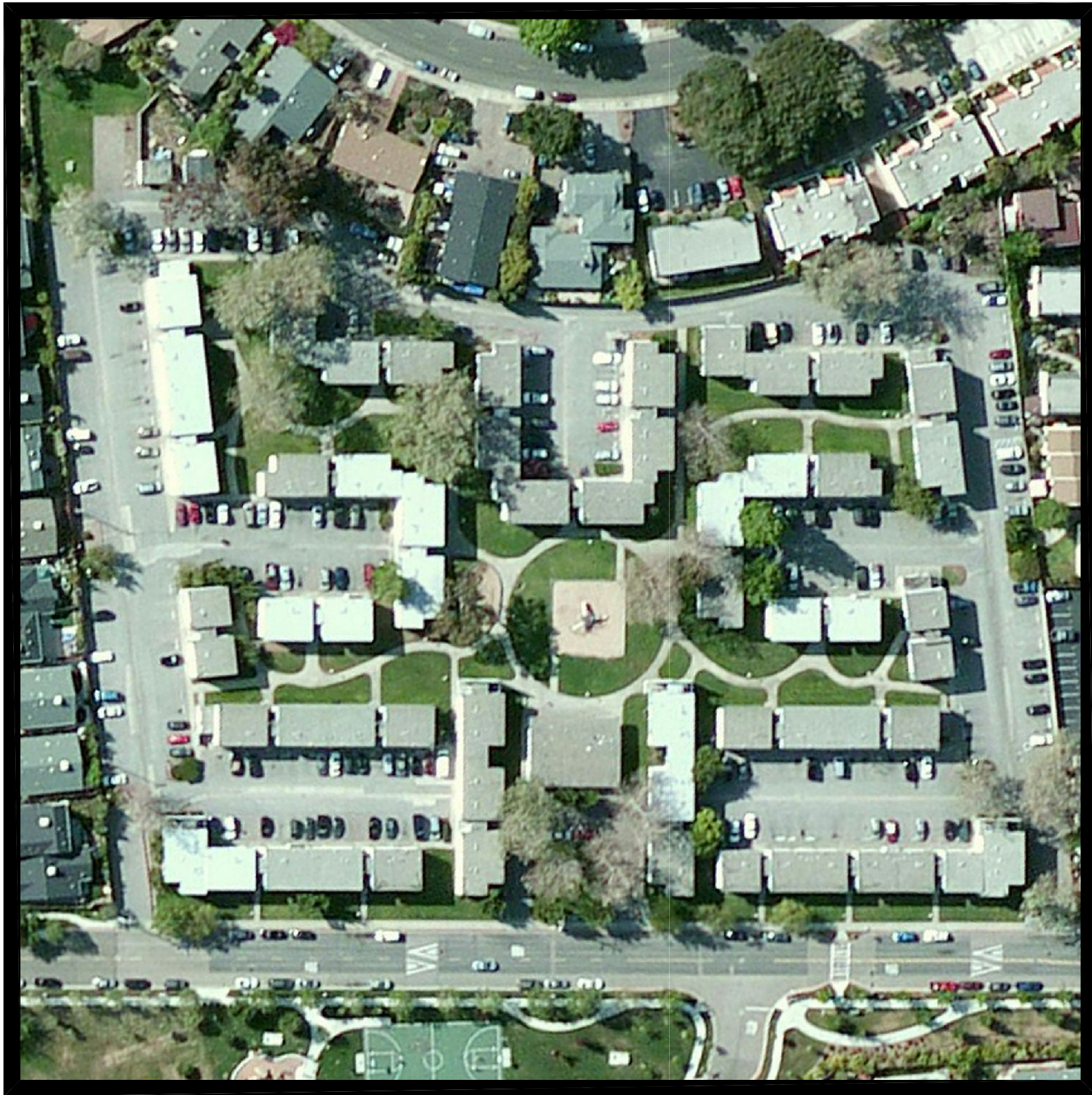
A PRE-CONSTRUCTION MEETING SHALL BE COORDINATED BY THE OWNER / DEVELOPER OR CONTRACTOR AND SHALL INCLUDE PERTINENT CITY STAFF. AS A MINIMUM, THE ASSIGNED BUILDING INSPECTOR AND PUBLIC WORKS INSPECTOR SHALL BE INCLUDED IN THIS MEETING TO DISCUSS THE LIMIT OF THE INSPECTION RESPONSIBILITIES.

THE PUBLIC IMPROVEMENTS SHALL BE SUBSTANTIALLY COMPLETE TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR PRIOR TO FINAL INSPECTION APPROVALS AND / OR OCCUPANCY OF ANY BUILDING.

ANY SECTIONS OF DAMAGED OR DISPLACED CURB, GUTTER & SIDEWALK OR DRIVEWAY APPROACH SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR.

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE MINIMUM STANDARDS OF THE FOLLOWING CODES:
 - 2010 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
 - 2010 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R. (2009) INTERNATIONAL BUILDING CODE AND 2010 CALIFORNIA AMENDMENTS)
 - 2010 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R. (2008 NATIONAL ELECTRICAL CODE AND 2010 CALIFORNIA AMENDMENTS)
 - 2010 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24 C.C.R. (2009 UNIFORM MECHANICAL CODE AND 2010 CALIFORNIA AMENDMENTS)
 - 2010 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R. (2009 UNIFORM PLUMBING CODE AND 2010 CALIFORNIA AMENDMENTS)
 - 2010 CALIFORNIA FIRE CODE, PART 9, TITLE 23 C.C.R. (2009 INTERNATIONAL FIRE CODE AND 2010 CALIFORNIA AMENDMENTS)
 - 2010 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), PART 11, TITLE 24 C.C.R.
 - 2010 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.
 - TITLE 19 C.C.R. PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.
- THE CALIFORNIA ENERGY CONSERVATION STANDARDS FOR NON-RESIDENTIAL CONSTRUCTION, CONTAINED IN TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS, HAVE BEEN REVIEWED AND THE COMMON BUILDING DESCRIBED HEREIN IS IN SUBSTANTIAL CONFORMANCE WITH THOSE STANDARDS WHICH APPLY TO NEW CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS FOR DIMENSION, GRADE, CONFIGURATION, AND OTHER ASPECTS OF COMPATIBILITY WITH THE WORK DESCRIBED IN THESE CONSTRUCTION DOCUMENTS. ANY CONDITIONS WHICH INTERFERE WITH THE WORK SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE WORK SHALL NOT PROCEED IN THE AREAS OF CONFLICT UNTIL SUCH CONFLICTS HAVE BEEN RESOLVED.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION.
- A KEY BOX ACCEPTABLE TO THE SAN LUIS OBISPO FIRE DEPARTMENT SHALL BE PLACED AS DIRECTED, CONTAINING ALL KEYS NECESSARY TO ALLOW FIRE DEPARTMENT PERSONNEL ACCESS TO ALL PORTIONS OF BUILDING SPACES.
- PRIOR TO COMMENCEMENT OF ANY WORK IN THE PUBLIC RIGHT-OF-WAY AN ENCROACHMENT PERMIT SHALL BE OBTAINED FROM THE CITY DEPARTMENT OF PUBLIC WORKS. A SEPARATE PERMIT SHALL BE OBTAINED FROM THE CITY DEPARTMENT OF PUBLIC WORKS FOR REPAIRS OR NEW CONSTRUCTION AT THE PUBLIC CURB, GUTTER AND SIDEWALK.
- ALL WORK LOCATED IN WITHIN THE PUBLIC RIGHT-OF-WAY OR WITHIN THE JURISDICTION OF THE UTILITIES AND PUBLIC WORKS DEPARTMENTS SHALL COMPLY WITH THE MOST CURRENT EDITION OF THE ENGINEERING STANDARD SPECIFICATIONS. THE CURRENT ADOPTED STANDARDS ARE DATED JANUARY 2010



PROJECT DATA

ASSESSOR'S PARCEL NUMBER: 053-102-025

LAND USE CATEGORY: RMF (RESIDENTIAL MULTI-FAMILY)

PLANNING AREA: SAN LUIS OBISPO

CBC OCCUPANCY GROUP: R-2 (MULTI-FAMILY)
B (COMMON BUILDING)

CBC CONSTRUCTION TYPE: V-B REMODEL

FIRE SPRINKLERED?: NO

PUBLICLY FUNDED?: NO

OVERALL SITE AREA: 305,160 S.F. = 7 ACRES

OCCUPANT LOADS
COMMON BUILDING = 1800 / 100 = 18 OCCUPANTS

NOTE: ACTIVITY ROOM IS < 750 S.F. AND THEREFORE IS CALCULATED AS GROUP B OCCUPANCY PER CBC 303.1 EXCEPTION 3.

EXISTING BUILDINGS	
RESIDENTIAL BUILDINGS	19
UNITS	120
COMMON BUILDING	1
LAUNDRY FACILITIES	5
MAINTENANCE SHEDS	2

EXISTING PARKING	
STANDARD SPACES	266
ACCESSIBLE SPACES	2
TOTAL	268

SCOPE OF WORK
SEE DESCRIPTION OF WORK ON SHEET T2

LEGAL DESCRIPTION

PARCEL 25 IN THE CITY OF SAN LUIS OBISPO, STATE OF CALIFORNIA, ACCORDING TO MAP REVISED OCTOBER 25th, 2001 IN BOOK 053 PAGE 102 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

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PROJECT DIRECTORY

OWNER / DEVELOPER:
VITUS GROUP
1700 SEVENTH AVENUE
SUITE 2000
SEATTLE, WA 98101

ARCHITECTS:
FRASER SEIPLE ARCHITECTS
971 OSOS STREET
SAN LUIS OBISPO 93401
805.544.6161

MECHANICAL ENGINEERS:
BRUMMEL MECHANICAL ENGINEERING
444 HIGUERA STREET STE. #201
SAN LUIS OBISPO 93401
805.543.6636

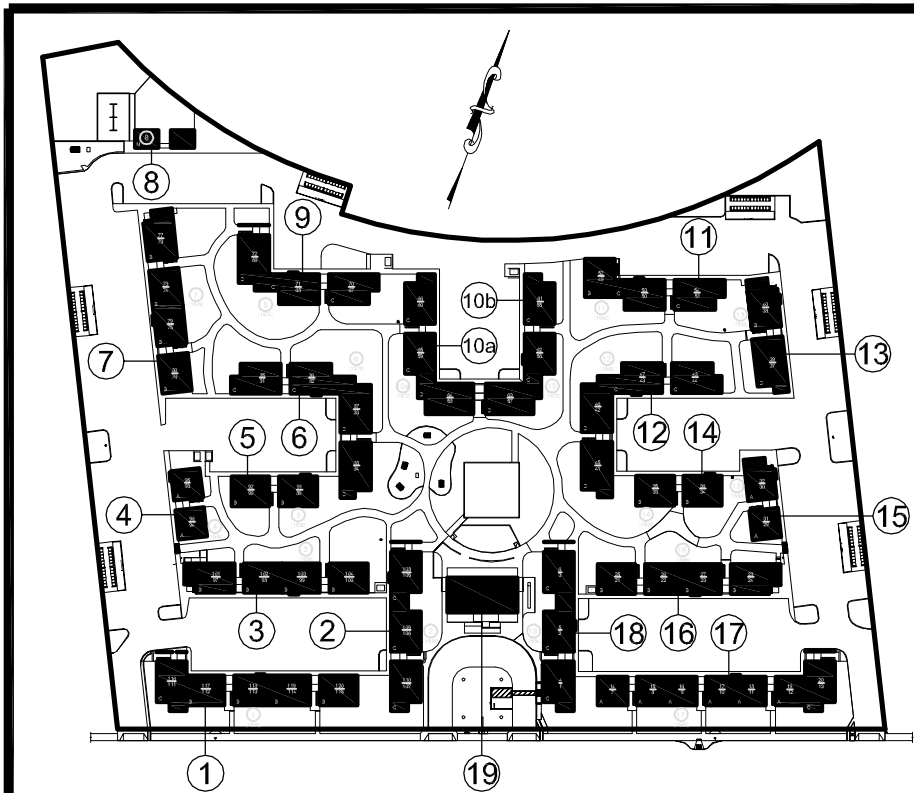
ELECTRICAL ENGINEERS:
THOMA ELECTRIC CO.
3562 EMPLEO STREET
SAN LUIS OBISPO 93401
805.543.3850

LANDSCAPE ARCHITECTS:
LINDA SHOTWELL
LANDSYSTEMS & ASSOCIATES
1418 JOHNSON AVE.
SAN LUIS OBISPO 93401
805.543.2473

VICINITY MAP



BUILDING KEY PLAN



PROJECT

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CLIENT JOB # ARCHITECT JOB #
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**FRASER
SEIPLE
ARCHITECTS**

971 OSOS STREET
SAN LUIS OBISPO
CALIFORNIA 93401

805-544-6161

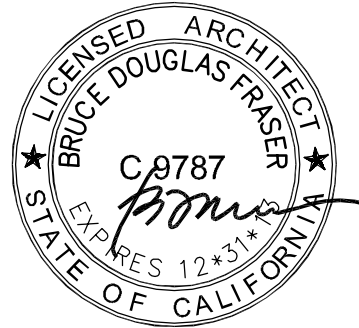
www.fraserseiplearchitects.com

PROJECT MANAGER BDF

DRAWN BY DDL

DATES 08-08-2012 1st SUBMITTAL
09-19-2012 1st RE-SUBMITTAL
10-05-2012 FOR CONSTRUCTION

SIGNED



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SHEET TITLE

TITLE

SHEET #

T1

[illegible]

ARCHITECTURAL ABBREVIATIONS

NO SCALE

D010006B

DESCRIPTION OF WORK

I. COMMON AREAS

- A. PARKING AND DRIVEWAY IMPROVEMENTS TO REPAIR DAMAGE AND MEET ACCESSIBLE PARKING STANDARDS.
- B. STREET FRONTAGE IMPROVEMENTS TO MEET CITY ENGINEERING STANDARDS.
- C. SITE WALKWAY IMPROVEMENTS TO REPAIR DAMAGE AND MEET ACCESSIBLE PATH OF TRAVEL STANDARDS.
- D. OUTDOOR ACTIVITY AREA AND SITE FURNISHING IMPROVEMENTS.
- E. LANDSCAPE IRRIGATION IMPROVEMENTS TO ACCESS SEPARATELY METERED RECYCLED WATER.
- F. TURF REMOVAL AND LANDSCAPE PLANTING IMPROVEMENTS.
- G. TREE PRUNING AND REMOVAL AS REQUIRED.
- H. EXTERIOR LIGHT FIXTURE REPLACEMENT.

II. APARTMENT INTERIORS, TYPICAL

- A. INTERIOR FLOORING AND FINISH REPLACEMENT AS REQUIRED.
- B. KITCHEN AND BATHROOM CABINET REPLACEMENT.
- C. PLUMBING FIXTURE REPLACEMENT AS REQUIRED.
- D. APPLIANCE REPLACEMENT AS REQUIRED.
- E. DOOR REPLACEMENT AS REQUIRED.
- F. GENERAL FINISH REPAIR AND PAINTING.
- G. COMPLYING SMOKE DETECTOR INSTALLATION.
- H. CARBON MONOXIDE DETECTOR INSTALLATION.
- I. COMPLYING GFCI OUTLET INSTALLATION.
- J. WALL FURNACE REPLACEMENT AS REQUIRED.
- K. WALL HEATER REPLACEMENT AS REQUIRED.

III. APARTMENT BUILDING EXTERIORS, TYPICAL

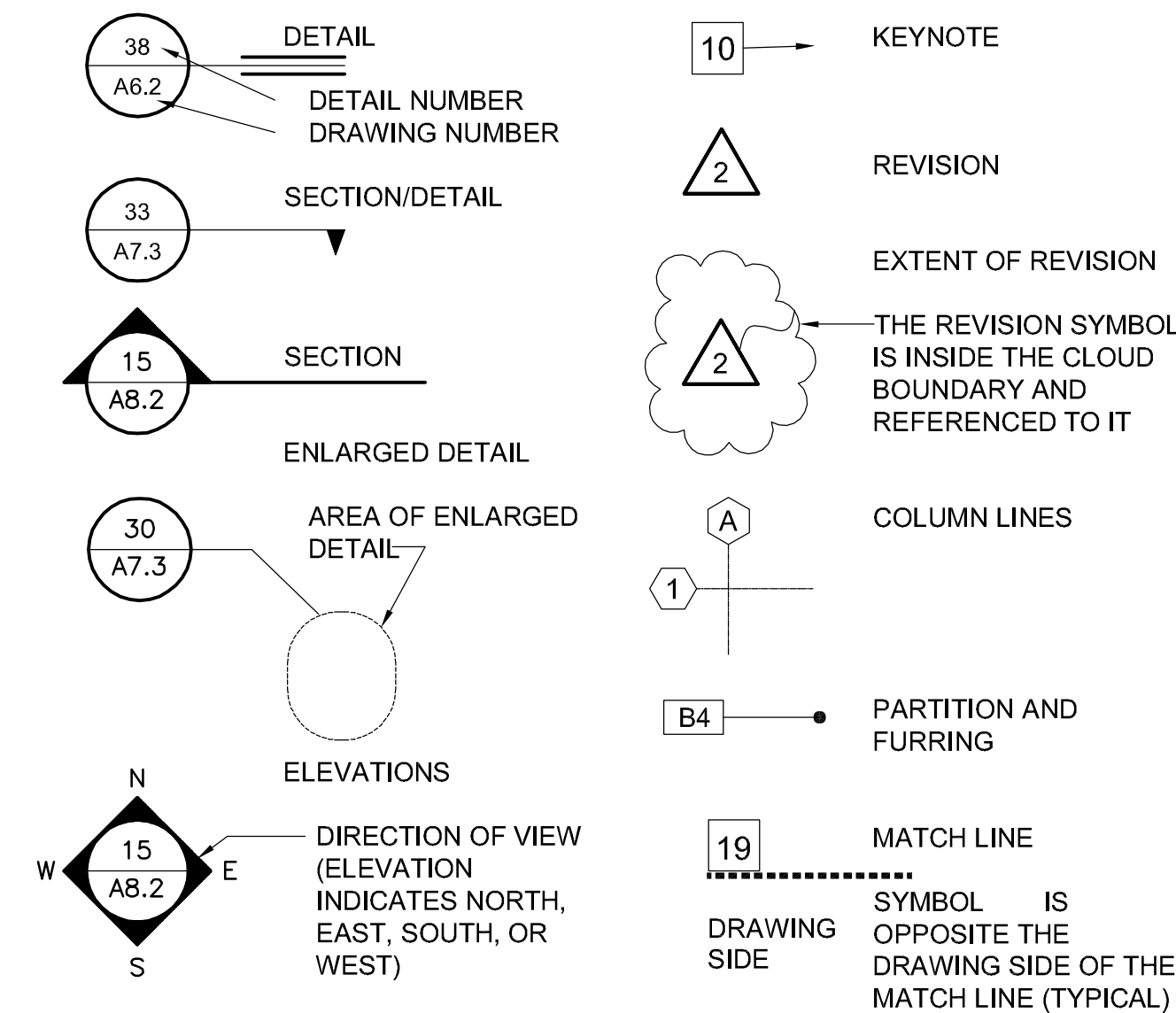
- A. ROOFING REPAIR OR REPLACEMENT AS REQUIRED.
- B. PLYWOOD SIDING REPLACEMENT WITH CEMENT BOARD SIDING.
- C. WOOD TRIM REPLACEMENT WITH COMPOSITE TRIM.
- D. PLASTER REPAIR AND REFINISHING AS REQUIRED.
- E. ALUMINUM WINDOW REPLACEMENT WITH VINYL WINDOWS.
- F. ABOVE-GRADE TRAFFIC TOPPING REPLACEMENT.
- G. ADDITIONAL STAIR HANDRAIL INSTALLATION.
- H. LIGHT FIXTURE REPLACEMENT.

IV. COMMON BUILDINGS

- A. ROOFING REPLACEMENT
- B. PLYWOOD SIDING REPLACEMENT WITH CEMENT BOARD SIDING.
- C. WOOD TRIM REPLACEMENT WITH COMPOSITE TRIM.
- D. PLASTER REPAIR AND REFINISHING AS REQUIRED.
- E. ALUMINUM WINDOW REPLACEMENT WITH VINYL WINDOWS.
- F. INTERIOR REMODELING FOR RESTROOM, CIRCULATION ACCESSIBILITY.
- G. FLOORING AND FINISH REPLACEMENT.
- H. PLUMBING FIXTURE REPLACEMENT.
- I. LIGHT FIXTURE REPLACEMENT.
- J. CASEWORK REPLACEMENT.

BUILDING LIST

BUILDING 1 (1592 MADONNA ROAD): 2 STORIES; 10 APARTMENTS; 8,544 SQ. FT.
 BUILDING 2 (1588 MADONNA ROAD): 2 STORIES; 6 APARTMENTS; 5,976 SQ. FT.
 BUILDING 3 (1586 MADONNA ROAD): 2 STORIES; 8 APARTMENTS; 6,732 SQ. FT.
 BUILDING 4 (1584 MADONNA ROAD): 2 STORIES; 4 APARTMENTS; 2,500 SQ. FT.
 BUILDING 5 (1582 MADONNA ROAD): 2 STORIES; 4 APARTMENTS; 3,276 SQ. FT.
 BUILDING 6 (1578 MADONNA ROAD): 2 STORIES; 8 APARTMENTS; 8,548 SQ. FT.
 BUILDING 7 (1576 MADONNA ROAD): 2 STORIES; 8 APARTMENTS; 6,732 SQ. FT.
 BUILDING 8 (MAINTENANCE): 1 STORY; 300 SQ. FT.
 BUILDING 9 (1574 MADONNA ROAD): 2 STORIES; 6 APARTMENTS; 6,266 SQ. FT.
 BUILDING 10A/10B (1572 MADONNA ROAD): 2 STORIES; 12 APARTMENTS; 12,532 SQ. FT.
 BUILDING 11 (1568 MADONNA ROAD): 2 STORIES; 6 APARTMENTS; 5,622 SQ. FT.
 BUILDING 12 (1564 MADONNA ROAD): 2 STORIES; 8 APARTMENTS; 8,548 SQ. FT.
 BUILDING 13 (1562 MADONNA ROAD): 2 STORIES; 4 APARTMENTS; 4,100 SQ. FT.
 BUILDING 14 (1560 MADONNA ROAD): 2 STORIES; 4 APARTMENTS; 3,276 SQ. FT.
 BUILDING 15 (1558 MADONNA ROAD): 2 STORIES; 4 APARTMENTS; 2,680 SQ. FT.
 BUILDING 16 (1556 MADONNA ROAD): 2 STORIES; 8 APARTMENTS; 6,732 SQ. FT.
 BUILDING 17 (1552 MADONNA ROAD): 2 STORIES; 14 APARTMENTS; 9,492 SQ. FT.
 BUILDING 18 (1554 MADONNA ROAD): 2 STORIES; 6 APARTMENTS; 5,976 SQ. FT.
 BUILDING 19 (1550 MADONNA ROAD): 1 STORY; 1,800 SQ. FT.



REFERENCE SYMBOLS

1/1

D010005A

PROJECT

MADONNA ROAD APARTMENTS

A RENOVATION AND UPGRADE PROJECT

**1550 MADONNA ROAD
SAN LUIS OBISPO, CA**

CLIENT JOB #

ARCHITECT JOB #

1207



971 OSOS STREET
SAN LUIS OBISPO
CALIFORNIA 93401

805-544-6161

www.fraserseiplearchitects.com

PROJECT MANAGER BDF

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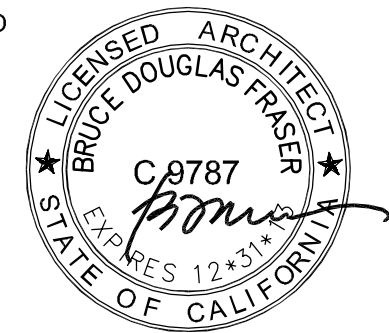
DATES

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10-05-2012 FOR CONSTRUCTION

SIGNED



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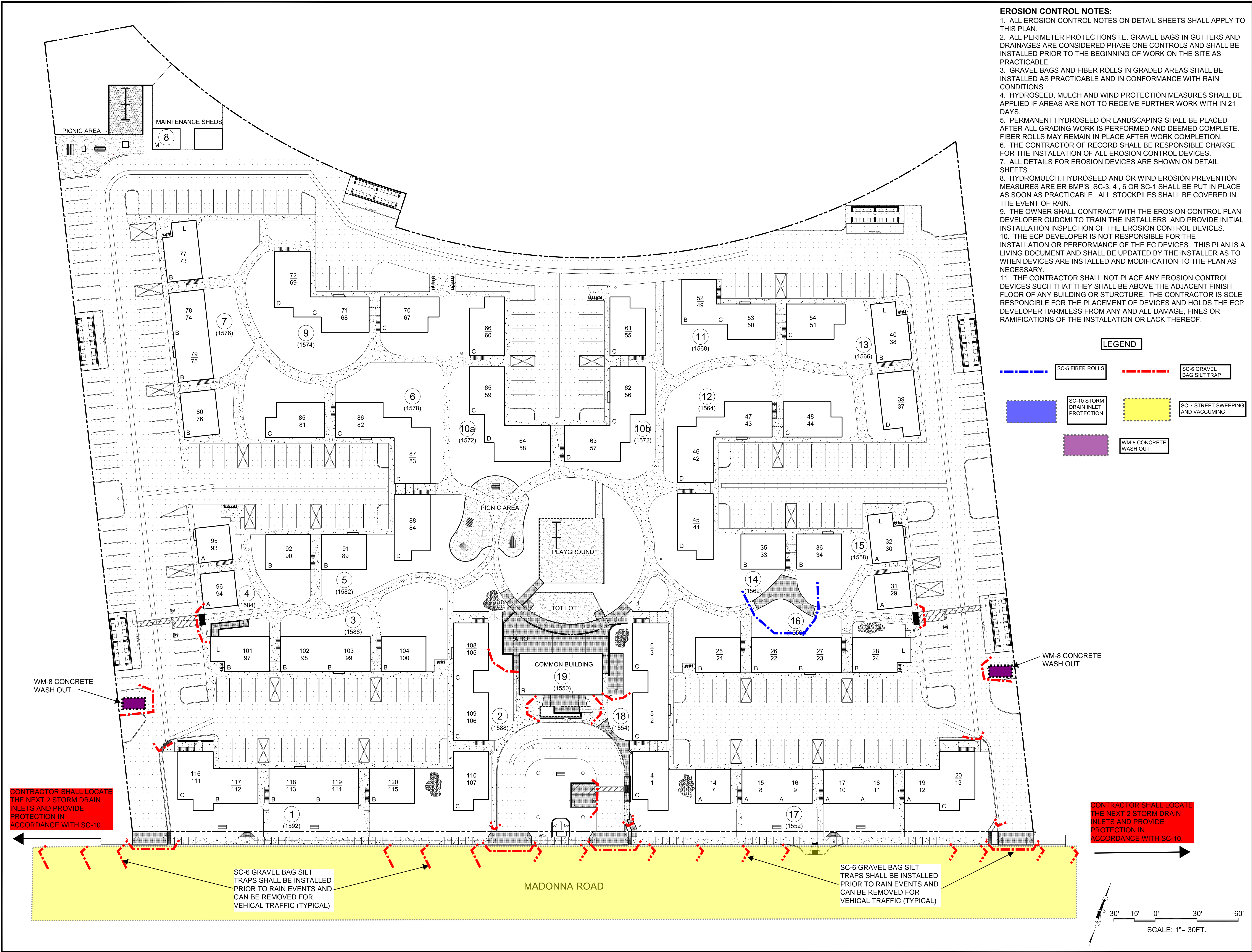
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SHEET TITLE

SYMBOLS & ABBREVIATIONS

SHEET #

T2



EROSION CONTROL NOTES:

1. ALL EROSION CONTROL NOTES ON DETAIL SHEETS SHALL APPLY TO THIS PLAN.
2. ALL PERIMETER PROTECTIONS I.E. GRAVEL BAGS IN GUTTERS AND DRAINAGES ARE CONSIDERED PHASE ONE CONTROLS AND SHALL BE INSTALLED PRIOR TO THE BEGINNING OF WORK ON THE SITE AS PRACTICABLE.
3. GRAVEL BAGS AND FIBER ROLLS IN GRADED AREAS SHALL BE INSTALLED AS PRACTICABLE AND IN CONFORMANCE WITH RAIN CONDITIONS.
4. HYDROSEED, MULCH AND WIND PROTECTION MEASURES SHALL BE APPLIED IF AREAS ARE NOT TO RECEIVE FURTHER WORK WITH IN 21 DAYS.
5. PERMANENT HYDROSEED OR LANDSCAPING SHALL BE PLACED AFTER ALL GRADING WORK IS PERFORMED AND DEEMED COMPLETE. FIBER ROLLS MAY REMAIN IN PLACE AFTER WORK COMPLETION.
6. THE CONTRACTOR OF RECORD SHALL BE RESPONSIBLE CHARGE FOR THE INSTALLATION OF ALL EROSION CONTROL DEVICES.
7. ALL DETAILS FOR EROSION DEVICES ARE SHOWN ON DETAIL SHEETS.
8. HYDROMULCH, HYDROSEED AND OR WIND EROSION PREVENTION MEASURES ARE ER BMP'S SC-3, 4, 6 OR SC-1 SHALL BE PUT IN PLACE AS SOON AS PRACTICABLE. ALL STOCKPILES SHALL BE COVERED IN THE EVENT OF RAIN.
9. THE OWNER SHALL CONTRACT WITH THE EROSION CONTROL PLAN DEVELOPER GUDCMI TO TRAIN THE INSTALLERS AND PROVIDE INITIAL INSTALLATION INSPECTION OF THE EROSION CONTROL DEVICES.
10. THE ECP DEVELOPER IS NOT RESPONSIBLE FOR THE INSTALLATION OR PERFORMANCE OF THE EC DEVICES. THIS PLAN IS A LIVING DOCUMENT AND SHALL BE UPDATED BY THE INSTALLER AS TO WHEN DEVICES ARE INSTALLED AND MODIFICATION TO THE PLAN AS NECESSARY.
11. THE CONTRACTOR SHALL NOT PLACE ANY EROSION CONTROL DEVICES SUCH THAT THEY SHALL BE ABOVE THE ADJACENT FINISH FLOOR OF ANY BUILDING OR STURCTURE. THE CONTRACTOR IS SOLE RESPONSIBLE FOR THE PLACEMENT OF DEVICES AND HOLDS THE ECP DEVELOPER HARMLESS FROM ANY AND ALL DAMAGE, FINES OR RAMIFICATIONS OF THE INSTALLATION OR LACK THEREOF.

LEGEND

- SC-5 FIBER ROLLS
- SC-6 GRAVEL BAG SILT TRAP
- SC-10 STORM DRAIN INLET PROTECTION
- SC-7 STREET SWEEPING AND VACUUMING
- WM-8 CONCRETE WASH OUT

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971 OSOS STREET
SAN LUIS OBISPO
CALIFORNIA 93401

805-544-6161

www.fraserseiplearchitects.com

ground up
Design & Construction Management Inc.
p.o. box 1583, pasadena, ca 93447
ph & fax 805-227-4159
cell: 440-9888
email: rwcarnes@earthlink.net

Robert W. Carnes
Robert W. Carnes
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No. 5454

PROJECT MANAGER BDF

DRAWN BY DDL

DATES 08 - 08 - 2012
09 - 19 - 2012 1st RE-SUB

SEAL

CERTIFIED PROFESSIONAL
CPESC
Robert W. Carnes
No. 5454

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SHEET TITLE
EROSION CONTROL PLAN

SCALE: 1" = 30'-0"

SHEET #
C1.0

GENERAL EROSION NOTES:

1. PROHIBITION OF MOST NON-STORM WATER DISCHARGES

ONLY STORM WATER FROM THE PROJECT SITE SHALL BE ALLOWED TO FLOW INTO THE PUBLIC STREET SYSTEM. CLEAN, NON-CHLORINATED WATER FROM THE FLUSHING OF FIRE HYDRANTS, WATER MAINS, AND STORM DRAINS MAY BE DISCHARGED TO THE STREET IF IT IS NOT ALLOWED TO COLLECT DIRT, DEBRIS AND TRASH WHILE FLOWING TO THE STREET.

2. SOURCES OF STORM WATER POLLUTANTS

STORM WATER POLLUTANTS INCLUDE SOIL, SEDIMENT AND NUTRIENTS, OIL, GREASE, TOXIC POLLUTANTS, HEAVY METALS, PAINT, AND STUCCO. SOURCES OF STORM WATER POLLUTANTS INCLUDE SOIL EROSION BY WATER AND/OR WIND; CLEARING OF VEGETATION; GRADING; VEHICLE AND EQUIPMENT REFUELING AND MAINTENANCE; WASHING OF CONCRETE TRUCKS, MIXERS AND HANDLING REQUIREMENT; PAINTS, SOLVENTS, ADHESIVES; LANDSCAPING WORK; ROOFING AND BUILDING MATERIALS; AND PETROLEUM PRODUCTS.

3. EROSION AND SEDIMENT CONTROLS

A. COVER EXPOSED STOCKPILES OF SOILS, CONSTRUCTION MATERIALS, AND LANDSCAPING MATERIALS WITH HEAVY PLASTIC SHEETING.

B. IN LANDSCAPING AREAS WHERE THE VEGETATION HAS NOT ESTABLISHED GROWTH AND TAKEN HOLD, CONSTRUCT SANDBAG OR DIRT BERMS OR SILT FENCES AROUND THEIR PERIMETER TO INSURE THAT WATER WILL BE CONTAINED INSIDE THE LANDSCAPING AREA AND THAT IT WILL NOT BE CONVEYED TO A STORM DRAIN INLET.

C. RE-VEGETATE AREAS WHERE LANDSCAPING HAS DIED OR NOT TAKEN HOLD.

D. DIVERT STORM WATER RUNOFF AROUND DISTURBED SOILS WITH BERMS OR DIRT SWALES.

4. OTHER CONTROLS

A. WASTE DISPOSAL

1. KEEP SOLID WASTE DISPOSAL CONTAINERS COVERED TO PREVENT ENTRY OF STORM WATER.

2. PROVIDE FOR THE WEEKLY (OR MORE FREQUENT, AS NECESSARY) DISPOSAL OF WASTE CONTAINERS.

3. PROVIDE CONTAINERS AT CONVENIENT LOCATIONS AROUND THE SITE.

B. SWEEPING OF SITE

1. PROVIDE WEEKLY (OR MORE FREQUENT, AS NECESSARY) SWEEPING BY HAND OR MECHANICAL MEANS TO KEEP THE PAVED AREAS OF THE SITE FREE OF DUST, DIRT, AND DEBRIS.

2. DISPOSE OF ACCUMULATED DIRT IN WASTE CONTAINERS, OR HAUL IT OFF THE SITE TO A LANDFILL.

C. SANITARY SEPTIC DISPOSAL

PORTABLE TOILETS AND OTHER SANITARY FACILITIES SHALL BE SERVICED WEEKLY (OR MORE FREQUENT, AS NECESSARY) AND PUMPED CLEAN BY A WASTE DISPOSAL COMPANY. NO TOXIC OR HAZARDOUS WASTES SHALL BE DISPOSED OF IN A PORTABLE TOILET; OR IN THE ON-SITE SANITARY SEWER.

D. SPILLS

1. STORE ADEQUATE ABSORBENT MATERIAL, RAGS, BROOMS, SHOVELS, AND WASTE CONTAINERS ON THE SITE TO CLEAN-UP SPILLS OR MATERIALS SUCH AS FUEL, PAINT SOLVENTS, OR CLEANERS. CLEAN UP MINOR SPILLS IMMEDIATELY.

2. FOR REPORTABLE QUANTITIES OF A HAZARDOUS OR TOXIC SUBSTANCES, SECURE THE SERVICES OF QUALIFIED PERSONNEL FOR CLEAN-UP AND DISPOSAL.

E. CONTROL OF ALLOWABLE NON-STORM WATER DISCHARGES

LANDSCAPING IRRIGATION, EROSION CONTROL MEASURES, PIPE FLUSHING AND TESTING PAVEMENT WASHING, AND DE-WATERING ARE ALLOWED IF THEY CANNOT FEASIBLY BE ELIMINATED. COMPLY WITH THIS PLAN, DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS, AND ARE NOT REQUIRED TO BE PERMITTED BY THE LOCAL REGIONAL WATER QUALITY CONTROL BOARD.

F. VEHICLES AND EQUIPMENT

1. FIX LEAKS OF FUEL, OIL, AND OTHER SUBSTANCES IMMEDIATELY.

2. PERFORM REFUELING AND SERVICE OF VEHICLES OR EQUIPMENT OFF-SITE WHEN POSSIBLE. IF REFUELING OR SERVICE OF EQUIPMENT IS PERFORMED ON-SITE, THEN PROVIDE AN IMPERVIOUS, CONTAINED AREA WHERE ANY SPILLS CAN BE CONTAINED WITHOUT FLOWING TO A STORM WATER INLET OR INTO THE GROUND.

3. USE DRIP PANS TO CATCH LEAKS AND SMALL SPILLS.

G. CONCRETE TRUCKS, MIXERS, AND HAULING EQUIPMENT

1. DISPOSE OF WASHOUT FROM THE WASHING OF CONCRETE TRUCKS AT ASSIGNED WASHOUT AREAS.

2. PROVIDE A HOLDING TANK TO RECEIVE ANY WASHOUT FROM CONCRETE EQUIPMENT. DISPOSAL OF TANK CONTENTS SHOULD BE CONDUCTED BY A WASTE HAULING FIRM.

3. PROVIDE A DESIGNATED AREA FOR WASHING ANY VEHICLES OR EQUIPMENT; DRAINAGE FROM THIS AREA SHOULD FLOW TO THE HOLDING TANK.

H. LANDSCAPING OPERATIONS

1. USE ONLY THE MINIMUM AMOUNT OF LANDSCAPING FERTILIZERS, NUTRIENTS, AND OTHER CHEMICALS THAT ARE NEEDED.

2. DO NO OVER WATER FERTILIZED OR TREATED LANDSCAPE AREAS, MINIMIZE RUNOFF OF IRRIGATION WATER FROM LANDSCAPING.

I. STORM WATER INLETS

KEEP ALL ON-SITE STORM WATER INLETS CLEAN AND FREE OF DIRT, SILT, AND DEBRIS, ETC. IN THE EVENT THAT SEDIMENT AND DEBRIS MAY FLOW TO AN INLET, PROVIDE A 6-INCH (MINIMUM) SANDBAG BERM AROUND THE INLET TO TRAP THE DIRT AND DEBRIS AND ALLOW ONLY CLEAN STORM WATER TO ENTER THE INLET (EROSION CONTROL PLAN).

5. INSPECTION BY CONTRACTOR & ENGINEER OF RECORD

A. REGULAR INTERVAL INSPECTION AND INSPECTION BEFORE AND AFTER STORM

1. VISUALLY INSPECT THE SITE WEEKLY TO INSURE THAT STORM WATER INLETS ARE FREE OF DIRT AND DEBRIS.

2. BEFORE A STORM, INSPECT THE SITE TO INSURE THAT STORM WATER POLLUTION CONTROL MEASURES ARE IN PLACE.

3. AFTER A STORM, INSPECT ALL STORM WATER INLETS TO INSURE THAT THEY ARE CLEAR OF DIRT AND DEBRIS. CLEAN THOSE STORM WATER INLETS THAT ARE NOT CLEAR AND FREE OF DEBRIS.

4. THE REGIONAL WATER BOARD MAY REQUIRE THE DISCHARGER TO CONDUCT ADDITIONAL SITE INSPECTIONS, SUBMIT REPORTS AND CERTIFICATIONS, OR TO PERFORM SAMPLING AND ANALYSIS.

5. THE DISCHARGER (PERMITTEE) IS REQUIRED TO CONDUCT INSPECTION OF THE CONSTRUCTION SITE PRIOR TO ANTICIPATED STORM EVENTS AND AFTER ACTUAL STORM EVENTS TO IDENTIFY AREAS CONTRIBUTING TO A STORM WATER DISCHARGE AND TO EVALUATE WHETHER MEASURES TO REDUCE POLLUTANT LOADINGS IDENTIFIED IN THE SWPPP ARE ADEQUATE AND PROPERLY IMPLEMENTED IN ACCORDANCE WITH THE TERMS OF THE GENERAL PERMIT AND WHETHER ADDITIONAL CONTROL PRACTICES ARE NEEDED.

GENERAL EROSION NOTES: (CONTINUED)

6. MAINTENANCE OF CONTROLS

A. MAINTENANCE AND REPAIR

ALL CONTROLS AND MEASURES INDICATED ON THIS PLAN SHOULD BE MAINTAINED IN GOOD AND EFFECTIVE CONDITION BY THE CONTRACTOR. IF ANY CONTROL OF MEASURES ARE DAMAGED OR REMOVED, THEY SHOULD BE PROMPTLY REPAIRED OR RESTORED.

B. PLAN REVISIONS

IF CONSTRUCTION ACTIVITY OR CONDITIONS CHANGE FROM THOSE SHOWN IN THIS PLAN THEN THIS PLAN SHOULD BE REVISED TO REFLECT THE CURRENT CONDITIONS.

7. FINAL STABILIZATION AND POST-CONSTRUCTION CONTROLS

A. AFTER CONSTRUCTION HAS BEEN COMPLETED, THE SITE SHALL BE SWEEPED CLEAN, STORM WATER INLETS (GRATES AND BASIN) SHALL BE CLEANED, AND ALL WASTE AND LEFTOVER MATERIALS SHALL BE REMOVED FROM THE SITE.

B. ALL LANDSCAPING AND PLANTING AREAS SHOULD BE WELL MAINTAINED TO PREVENT EROSION. AVOID OVER-WATERING OF LANDSCAPING.

C. ALL PAVED AREAS SHOULD BE SWEEPED WEEKLY EITHER BY HAND OR BY MECHANICAL MEANS TO KEEP THE SITE CLEAR OF DIRT, DUST, AND DEBRIS.

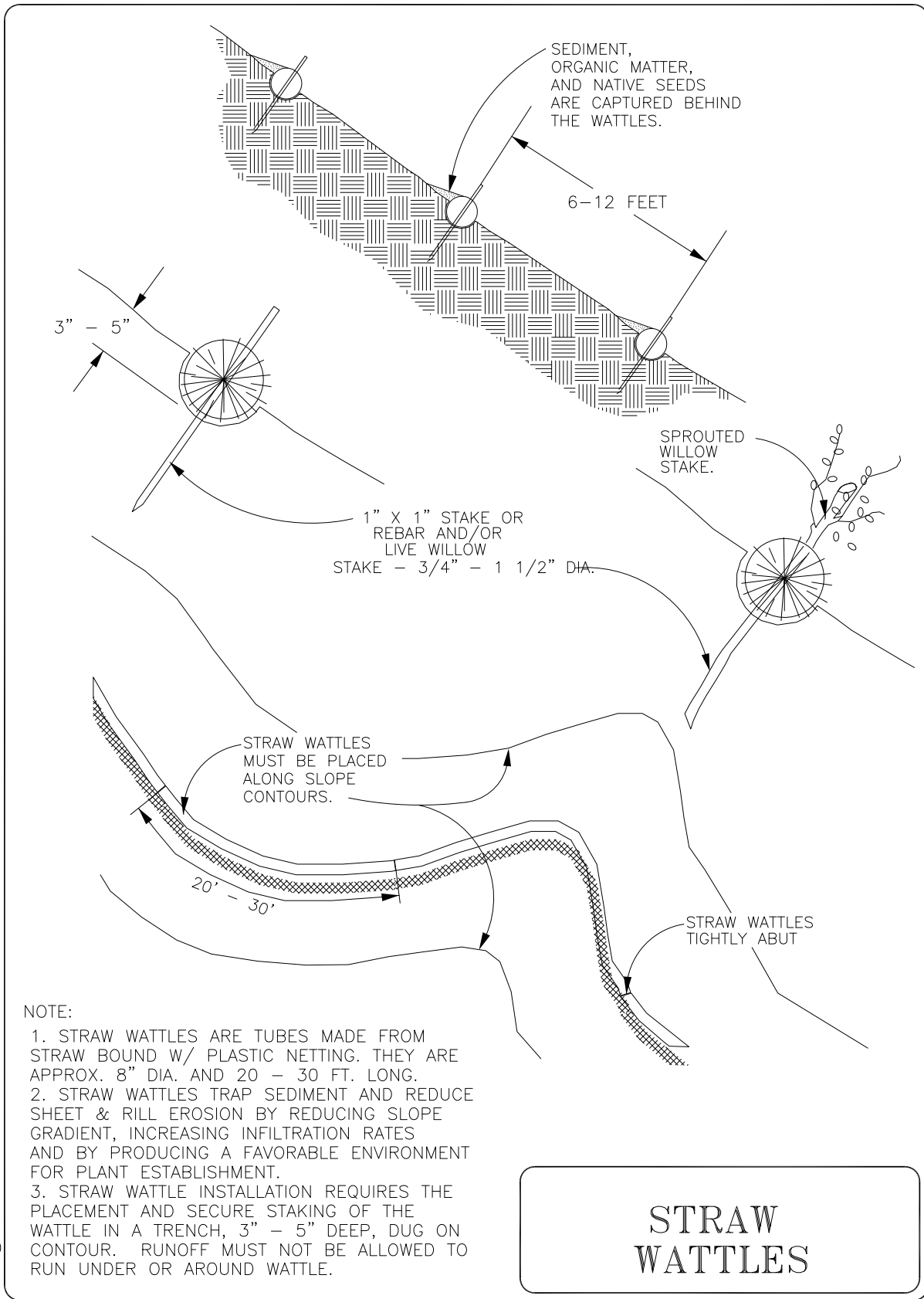
D. WASTE MATERIALS ON-SITE SHOULD BE STORED IN COVERED CONTAINERS WHICH ARE CLEANED OUT REGULARLY.

E. TESTING OF FIRE HYDRANTS ON-SITE SHALL NOT BE CONDUCTED UNTIL THE AREA WHERE THE WATER DISCHARGES HAS BEEN SWEEPED CLEAN OF DIRT AND DEBRIS.

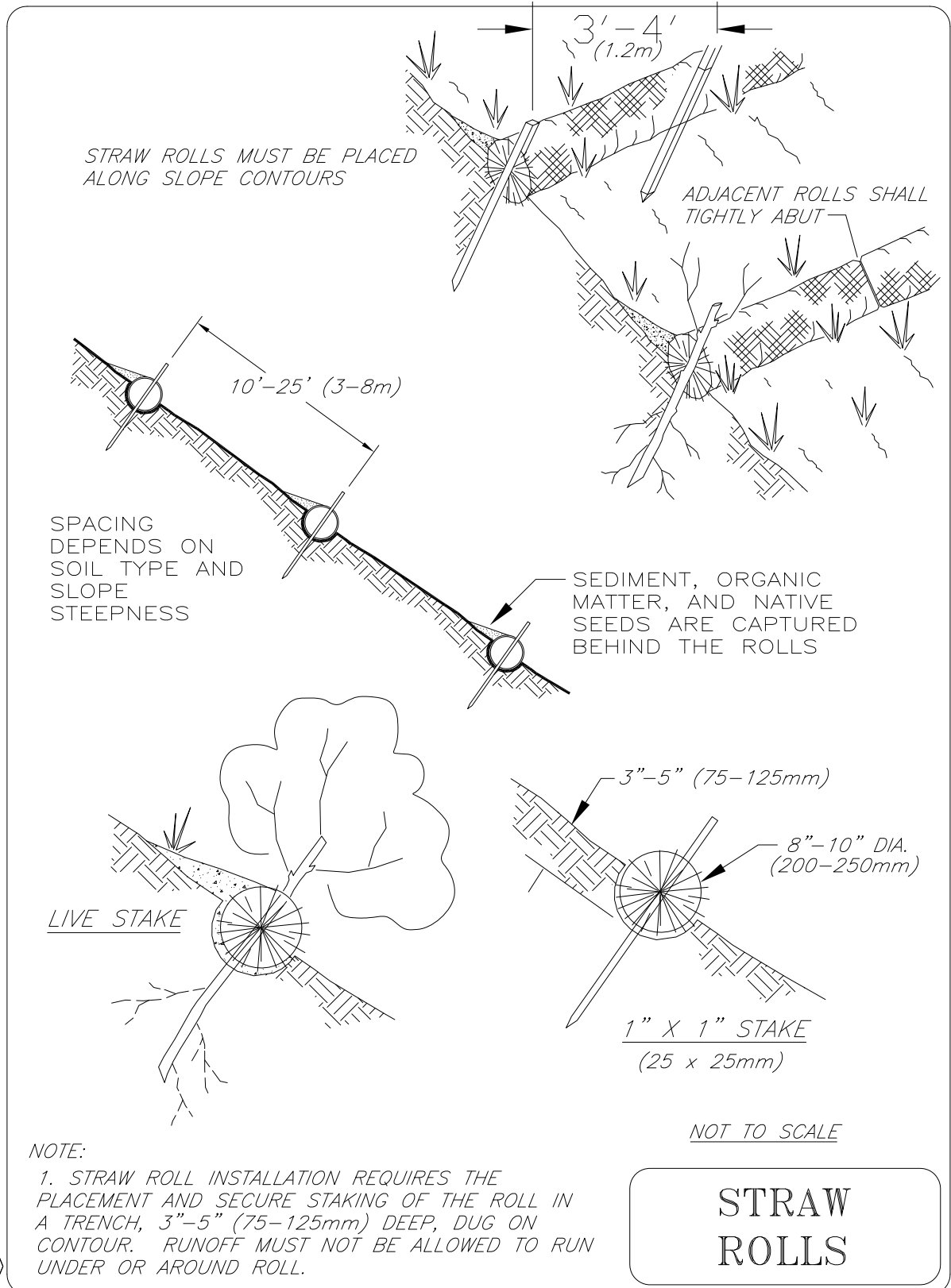
F. STORM DRAIN LINES SHOULD BE CHECKED AND CLEANED ANNUALLY TO KEEP THEM CLEAN AND CLEAR OF DEBRIS.

G. ALL ON-SITE STORM WATER INLETS SHOULD BE CLEARLY MARKED WITH 4" BLUE LETTERS ON WHITE FIELD "STORM WATER ONLY, THIS DRAINS TO THE OCEAN".

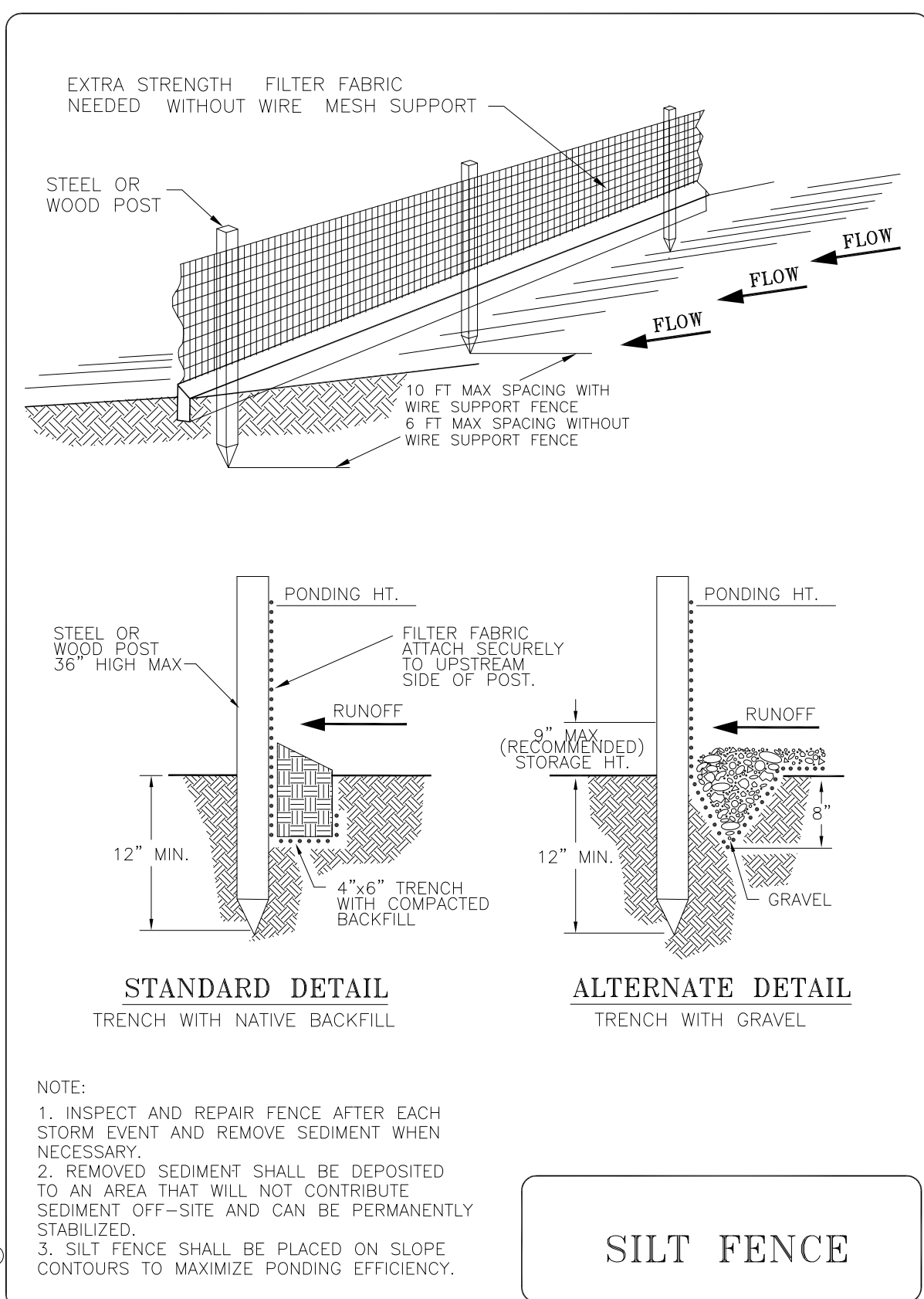
8. ALL CONSTRUCTION ACTIVITIES INCLUDING GRADING, VEGETATION REMOVAL, STOCKPILING, EQUIPMENT STORAGE ETC. SHALL REMAIN OUTSIDE OF THE 20-FOOT CREEK SETBACK LINE AT ALL TIMES UNLESS AN EXCEPTION FOR SUCH CONSTRUCTION HAS BEEN APPROVED BY THE COMMUNITY DEVELOPMENT DEPARTMENT. THE CREEK SETBACK LINE SHALL BE ESTABLISHED BY THE CITY'S NATURAL RESOURCE MANAGER AND MARKED IN THE FIELD. THE SETBACK AREA SHALL BE FENCED WITH ORANGE CONSTRUCTION FENCING, AND SHALL BE IN PLACE PRIOR TO THE BEGINNING OF CONSTRUCTION AND THROUGHOUT THE DURATION OF CONSTRUCTION.



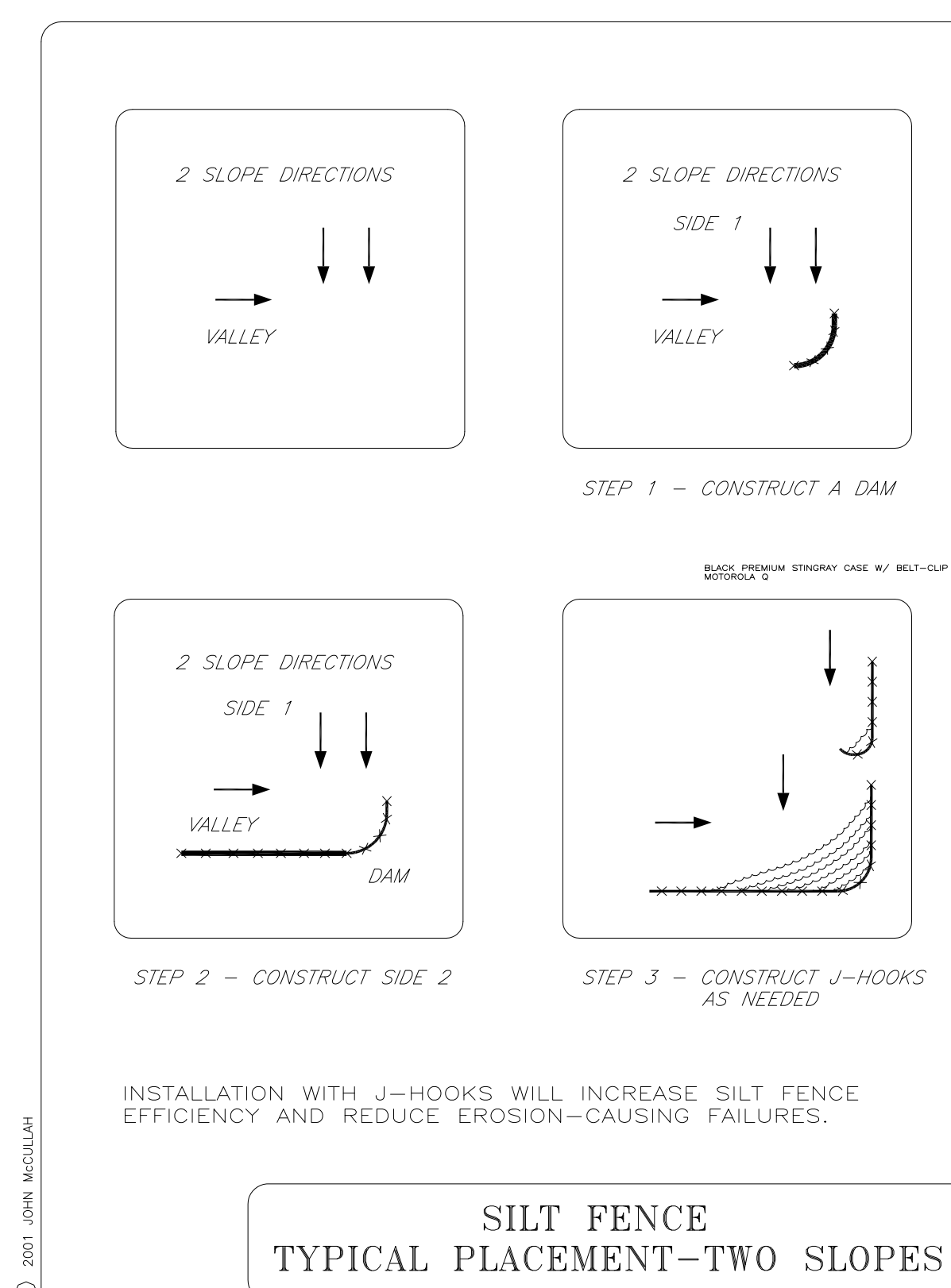
SE-5 FIBER ROLL INSTALLATION



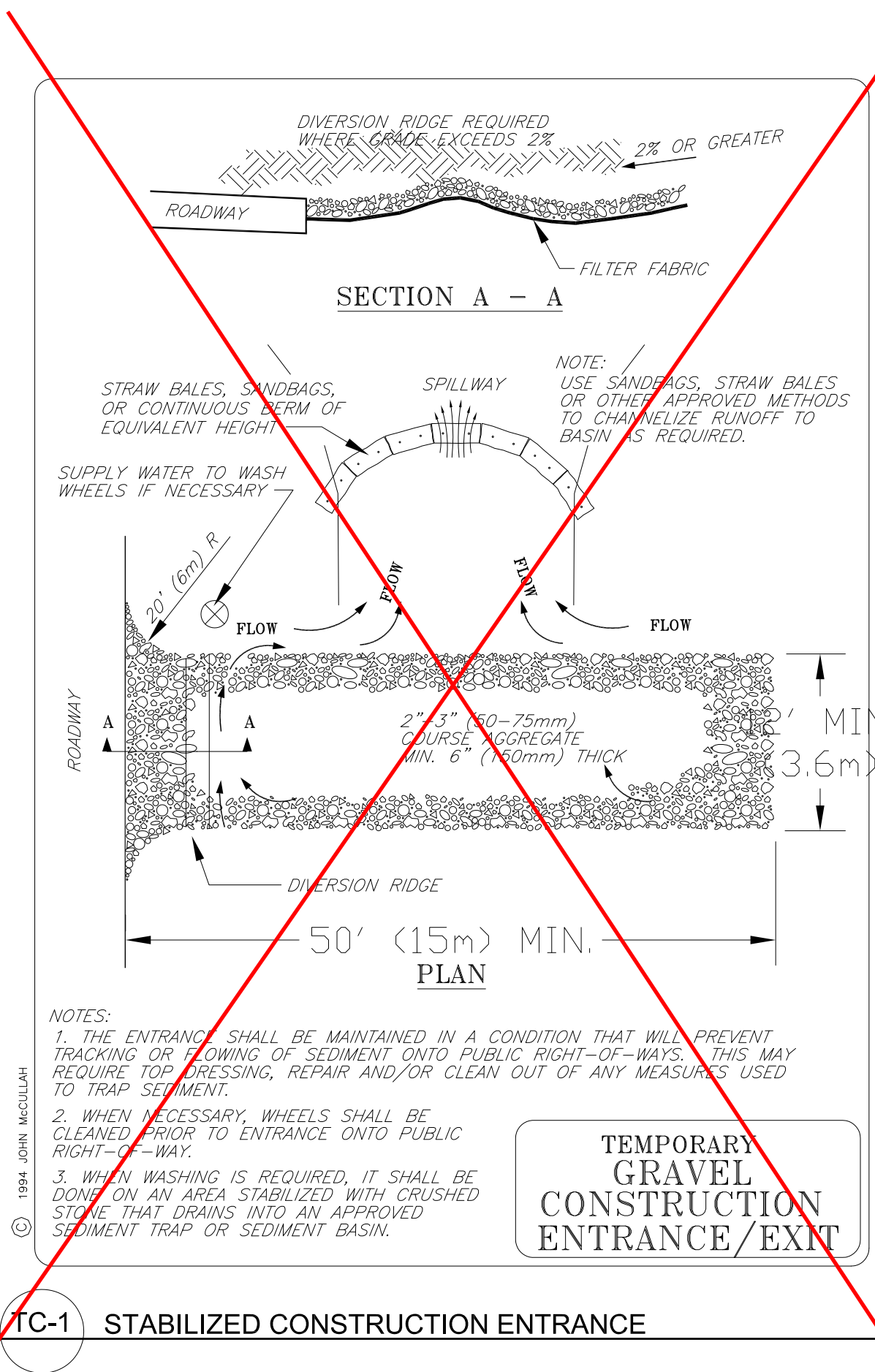
SE-5 FIBER ROLL INSTALLATION



SE-1 SILT FENCE INSTALLATION



SE-1 SILT FENCE INSTALLATION



TC-1 STABILIZED CONSTRUCTION ENTRANCE

PROJECT

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SAN LUIS OBISPO, CA

CLIENT JOB # ARCHITECT JOB #
1207



971 OSOS STREET
SAN LUIS OBISPO
CALIFORNIA 93401

805-544-6161

www.fraserseiplearchitects.com



Robert W. Carnes
Certified Professional in Erosion and Sediment Control
No. 5454

PROJECT MANAGER BDF

DRAWN BY DDL

DATES 08 - 08 - 2012
09 - 19 - 2012 1st RE-SUB

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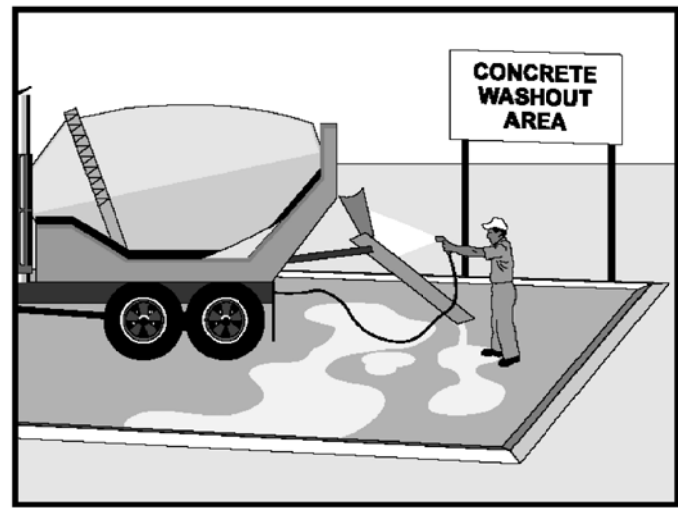
SHEET TITLE

EROSION CONTROL GENERAL NOTES AND DETAILS

SHEET #

C2.0

Concrete Waste Management WM-8



Objectives	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
<input checked="" type="checkbox"/>	Primary Objective
<input checked="" type="checkbox"/>	Secondary Objective

Description and Purpose

Prevent or reduce the discharge of pollutants to stormwater from concrete waste by conducting washout offsite, performing onsite washout in a designated area, and training employee and subcontractors.

Suitable Applications

Concrete waste management procedures and practices are implemented on construction projects where:

- Concrete is used as a construction material or where concrete dust and debris result from demolition activities
- Slurries containing portland cement concrete (PCC) or asphalt concrete (AC) are generated, such as from saw cutting, coring, grinding, grooving, and hydro-concrete demolition
- Concrete trucks and other concrete-coated equipment are washed onsite
- Mortar-mixing stations exist
- See also NS-8, Vehicle and Equipment Cleaning

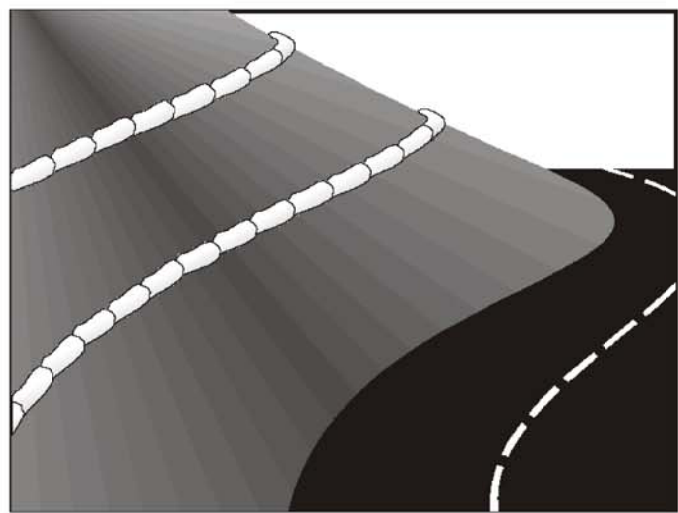
Limitations

- Offsite washout of concrete wastes may not always be possible.



WM-8 CONCRETE WASTE MANAGEMENT

Gravel Bag Berm SE-6



Objectives	
EC	Erosion Control
SE	Sediment Control
TR	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
<input checked="" type="checkbox"/>	Primary Objective
<input checked="" type="checkbox"/>	Secondary Objective

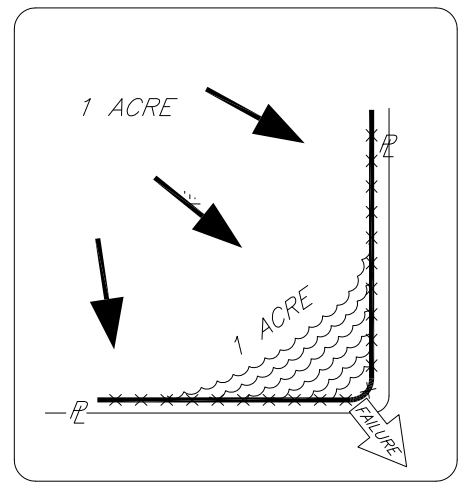
Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	
Trash	
Metals	
Bacteria	
Oil and Grease	
Organics	

Potential Alternatives	
SE-1 Silt Fence	
SE-5 Fiber Roll	
SE-8 Sandbag Barrier	
SE-9 Straw Bale Barrier	

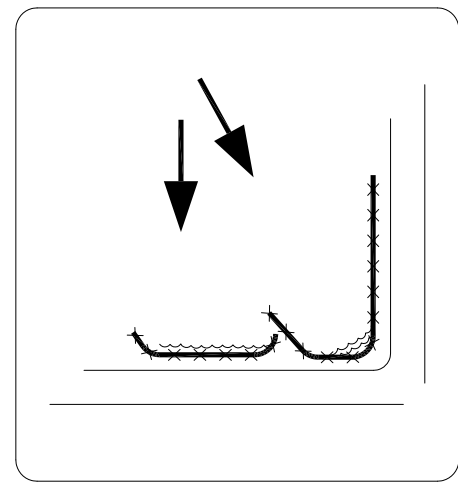


SE-6 GRAVEL BAG INSTALLATION

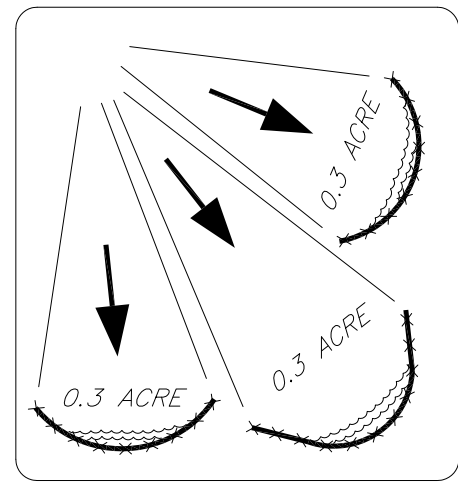
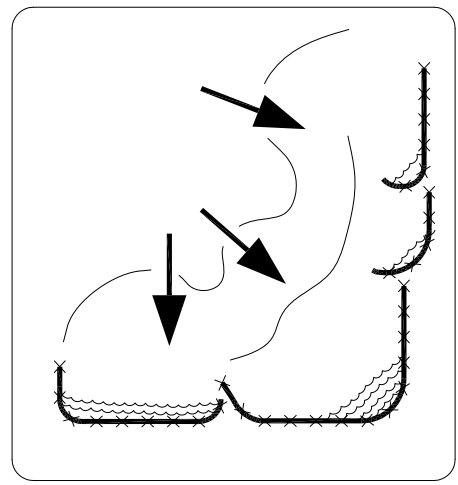
SE-6



Incorrect - Do Not layout "perimeter control" silt fences along property lines. All sediment laden runoff will concentrate and overwhelm the system.



Correct - Install J-hooks



Discreet segments of silt fence, installed with J-hooks or 'smiles' will be much more effective.

SILT FENCE PLACEMENT FOR PERIMETER CONTROL

1994 JOHN MCULLAH
FILE: SF-PERIMETER CONTROL

SE-1 SILT FENCE INSTALLATION

Stockpile Management WM-3



Objectives	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
<input checked="" type="checkbox"/>	Primary Objective
<input checked="" type="checkbox"/>	Secondary Objective

Description and Purpose

Stockpile Management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-mixed aggregate, asphalt binder (so called "cold mix" asphalt), and pressure treated wood.

Suitable Applications

Implement in all projects that stockpile soil and other materials.

Limitations

None identified.

Implementation

Protection of stockpiles is a year-round requirement. To properly manage stockpiles:

- Locate stockpiles a minimum of 50 ft away from concentrated flows of stormwater, drainage courses, and inlets.
- Protect all stockpiles from stormwater runoff using a temporary perimeter sediment barrier such as berms, dikes, fiber rolls, silt fences, sandbag, gravel bags, or straw bale barriers.



WM-3 STOCKPILE MANAGEMENT

Street Sweeping and Vacuuming SE-7



Objectives	
EC	Erosion Control
SE	Sediment Control
TR	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
<input checked="" type="checkbox"/>	Primary Objective
<input checked="" type="checkbox"/>	Secondary Objective

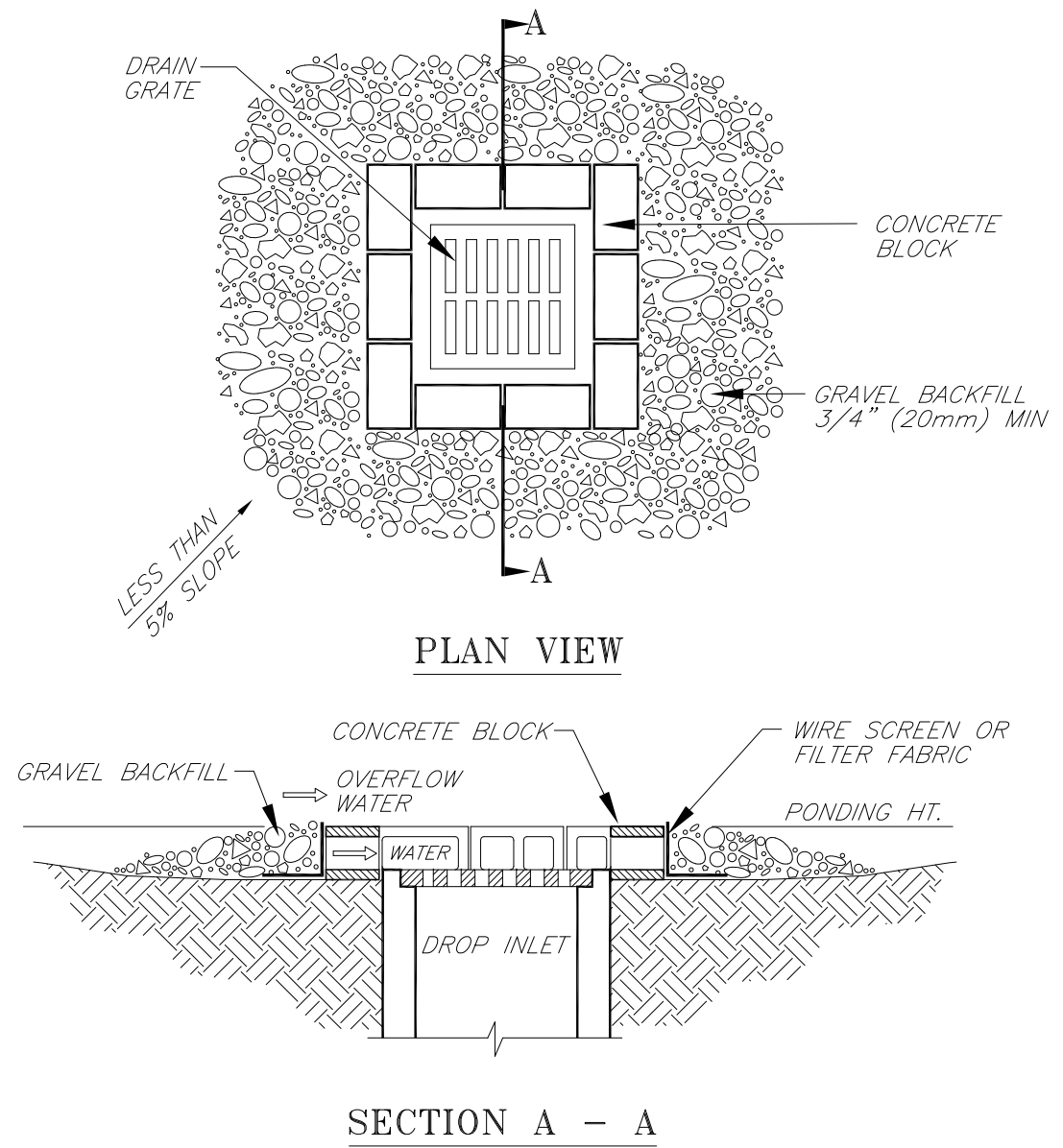
Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	
Trash	<input checked="" type="checkbox"/>
Metals	
Bacteria	
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>

Potential Alternatives	
None	



SE-7 STREET SWEEPING AND VACUUMING

SE-7

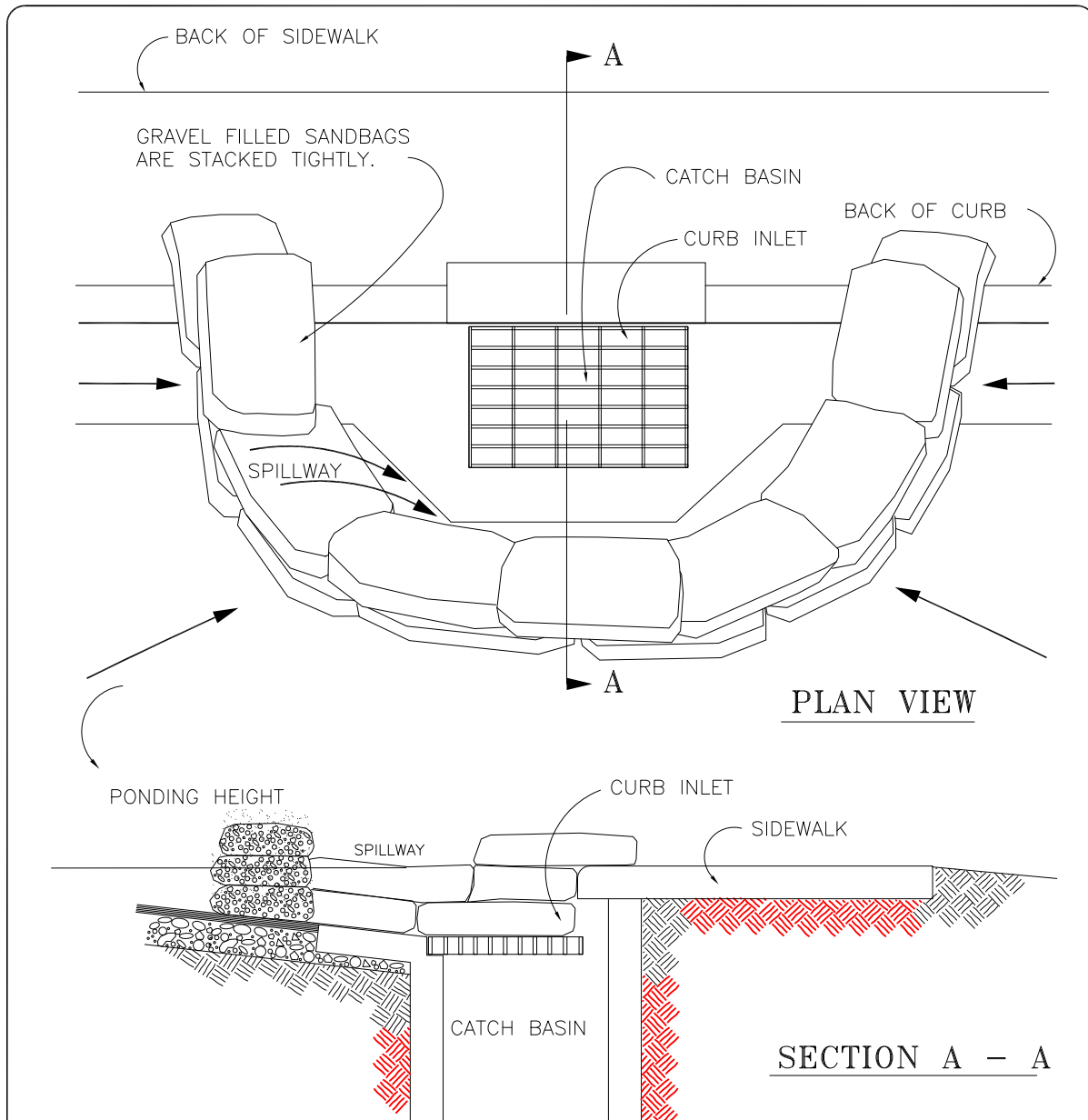


NOTES:
1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%)
2. EXCAVATE A BASIN OF SUFFICIENT SIZE ADJACENT TO THE DROP INLET.
3. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BYPASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.

BLOCK AND GRAVEL DROP INLET SEDIMENT BARRIER

1994 JOHN MCULLAH
FILE: BGDSEBAR

SE-10 STORM DRAIN PROTECTION



NOTES:
1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
2. SANDBAGS, OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
3. LEAVE ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

CURB INLET SEDIMENT BARRIER

FILE: SEDIM10

SE-10 STORM DRAIN PROTECTION

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SAN LUIS OBISPO
CALIFORNIA 93401

805-544-6161

www.fraserseiplearchitects.com



Robert W. Carnes
Certified Professional in Erosion and Sediment Control
No. 5454

PROJECT MANAGER BDF

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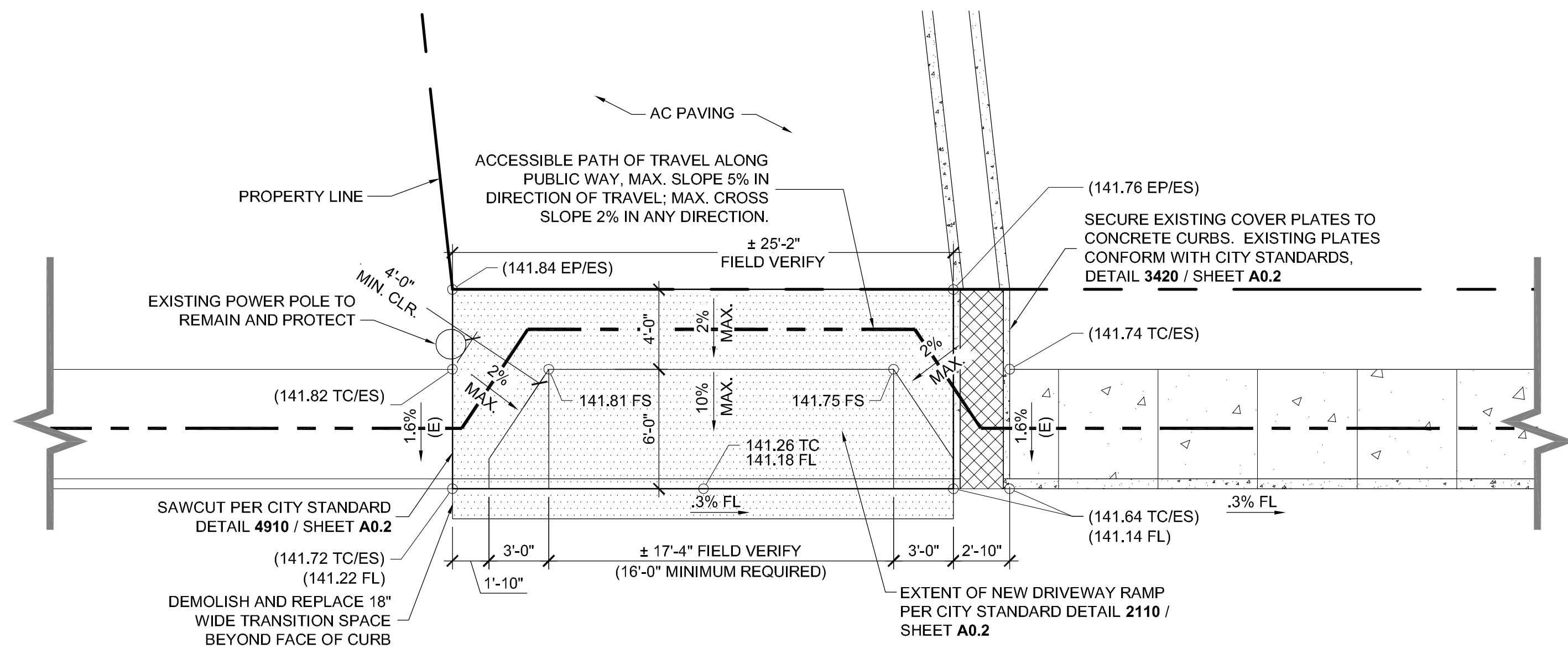
SHEET TITLE

EROSION CONTROL DETAILS

SHEET #

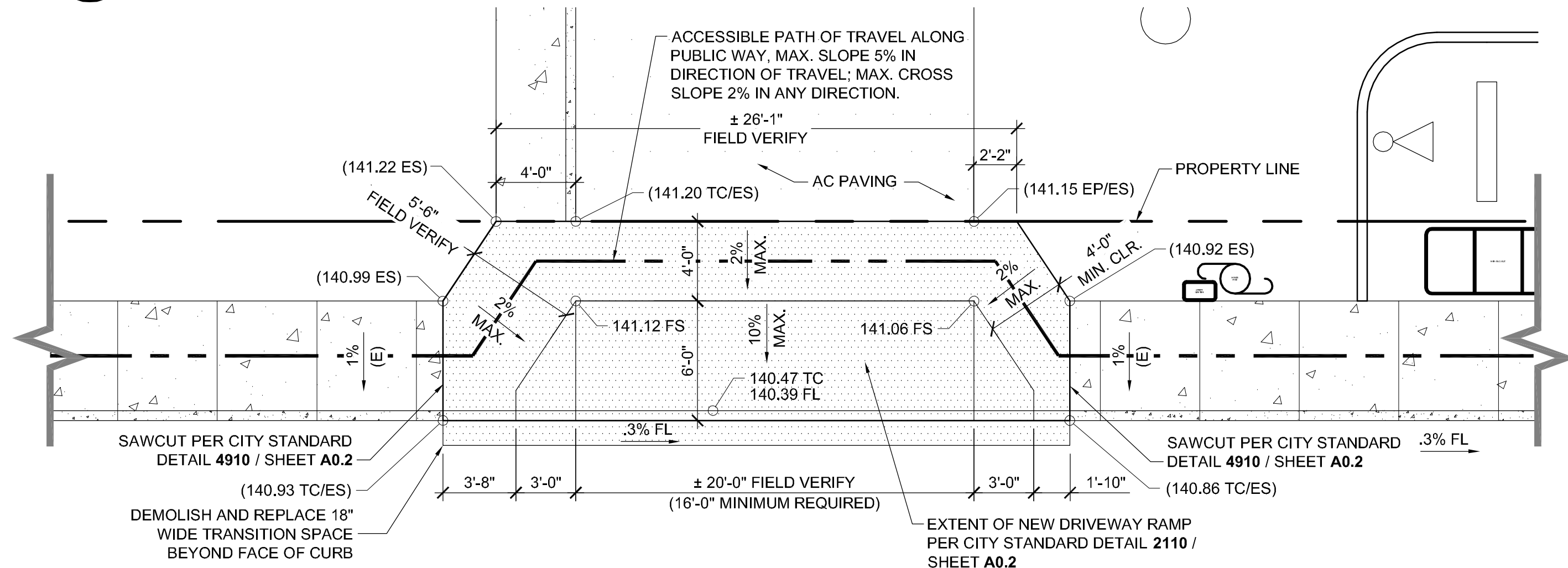
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\\UOH\N\Madonna Rd Apts 1207\Drawings\0 - Drawing Sheets\A0.1 - Frontage Improvement Plans.dwg, 10/3/2012 10:30:41 PM



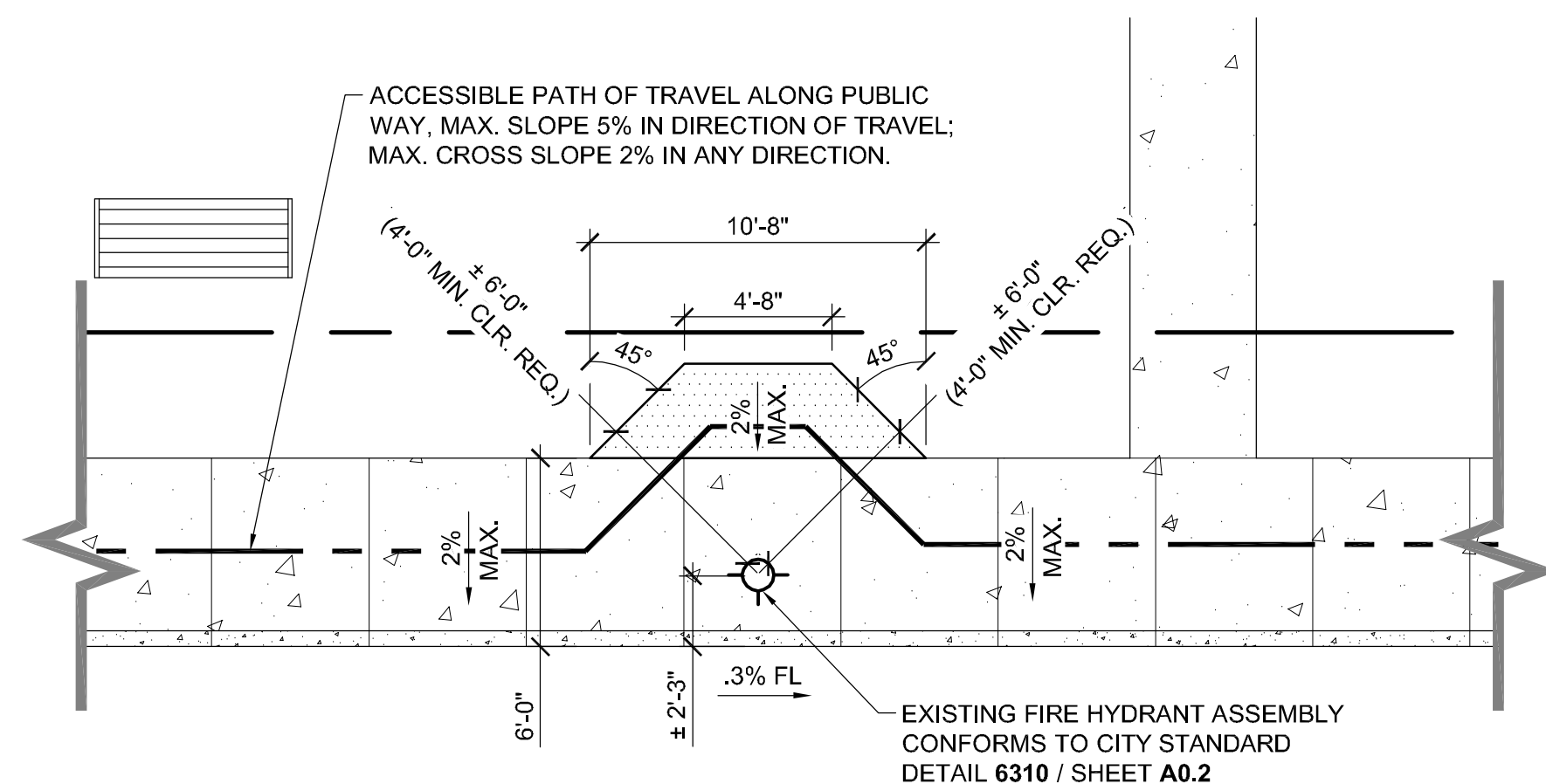
41 DRIVEWAY APRON 1

SCALE : 3/16" = 1'-0"



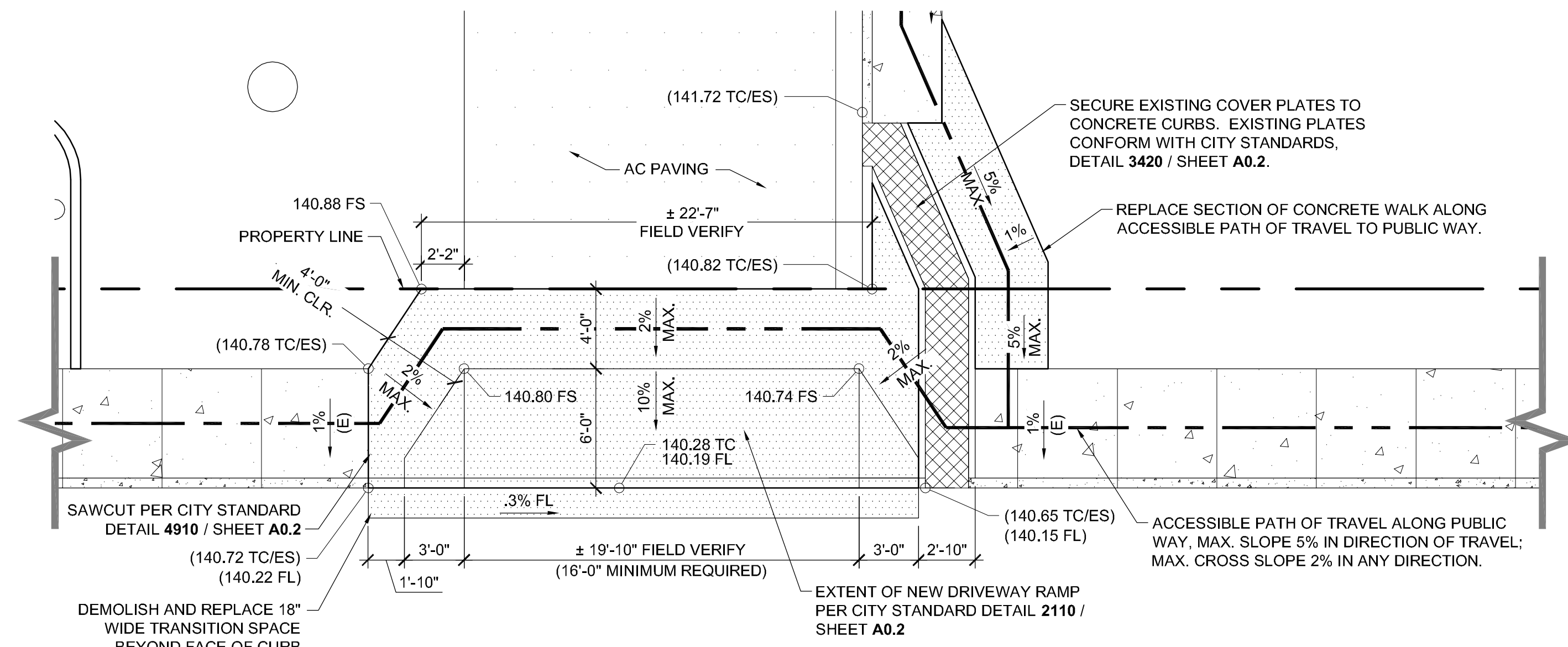
42 DRIVEWAY APRON 2

SCALE : 3/16" = 1'-0"



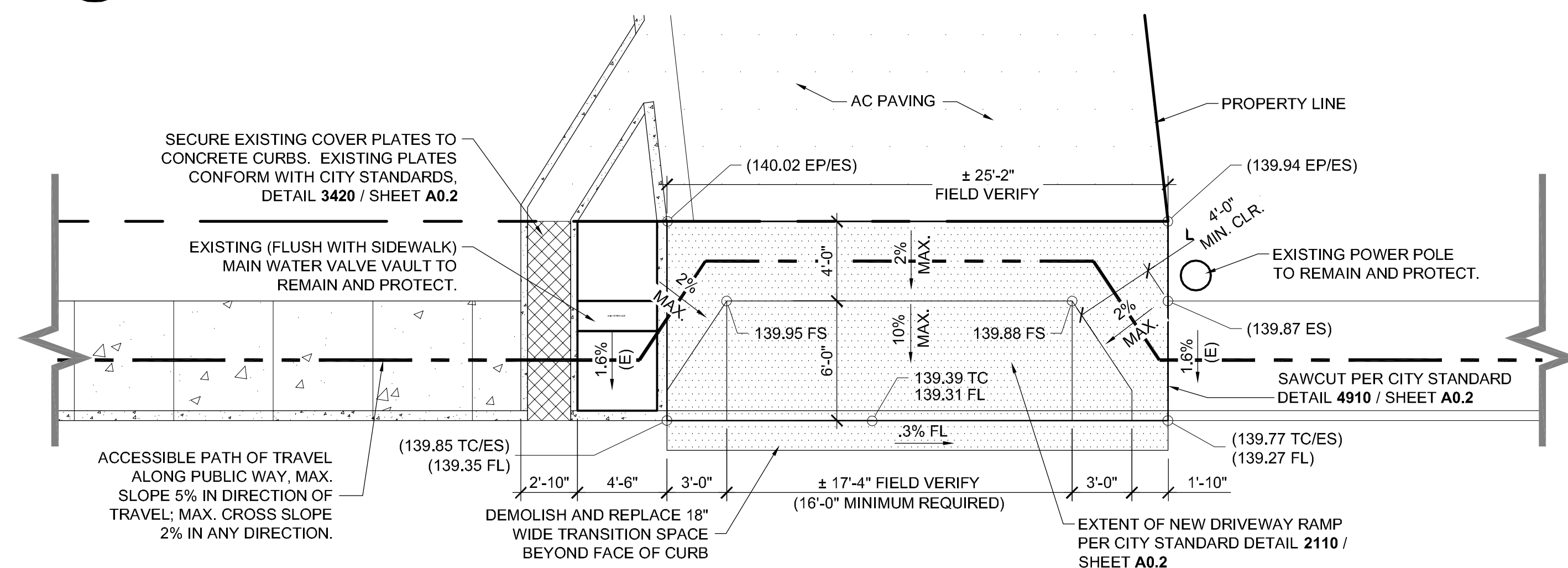
21 FIRE HYDRANT 1

SCALE : 3/16" = 1'-0"



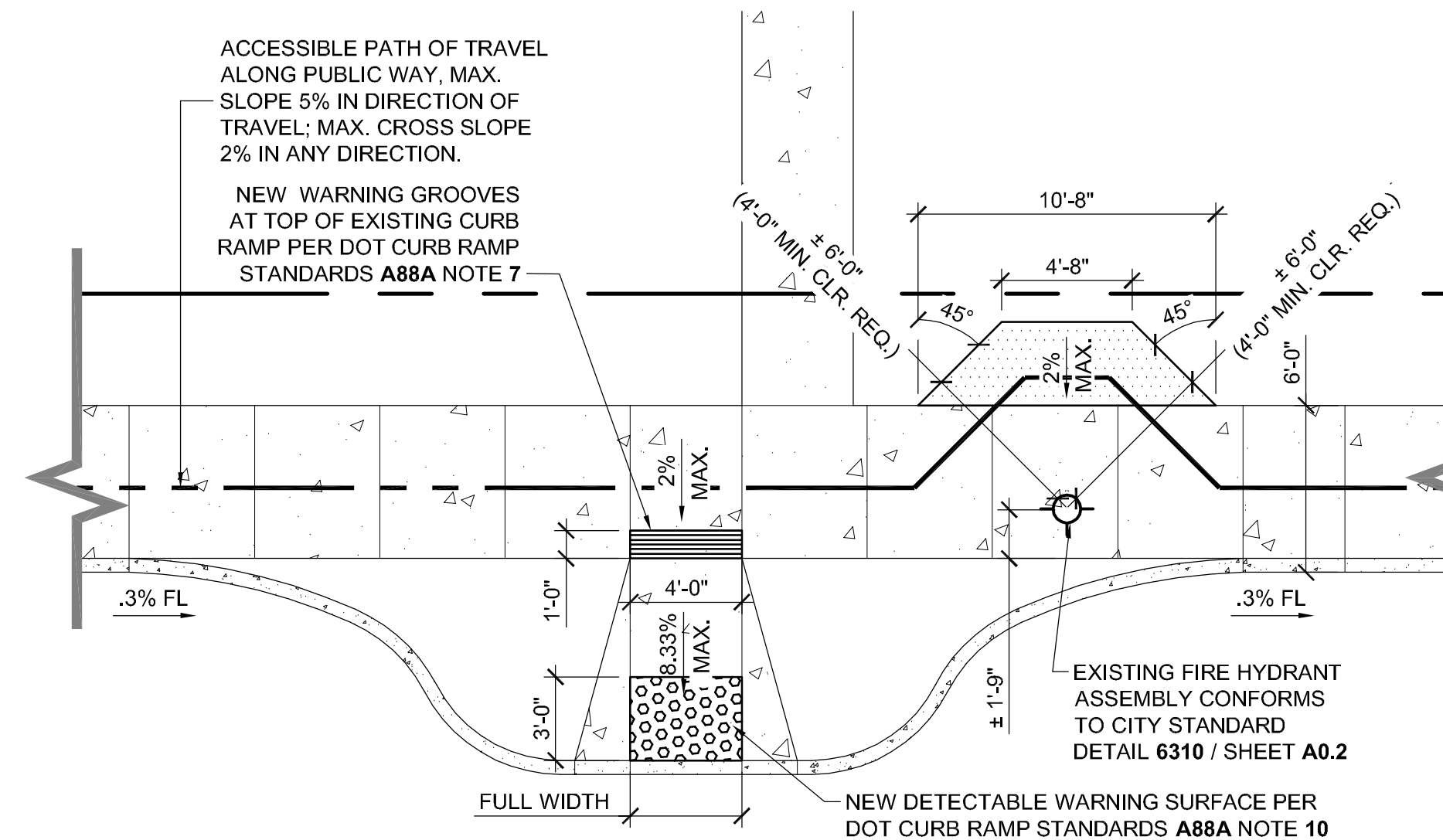
43 DRIVEWAY APRON 3

SCALE : 3/16" = 1'-0"



44 DRIVEWAY APRON 4

SCALE : 3/16" = 1'-0"



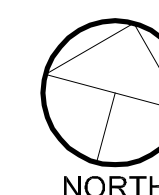
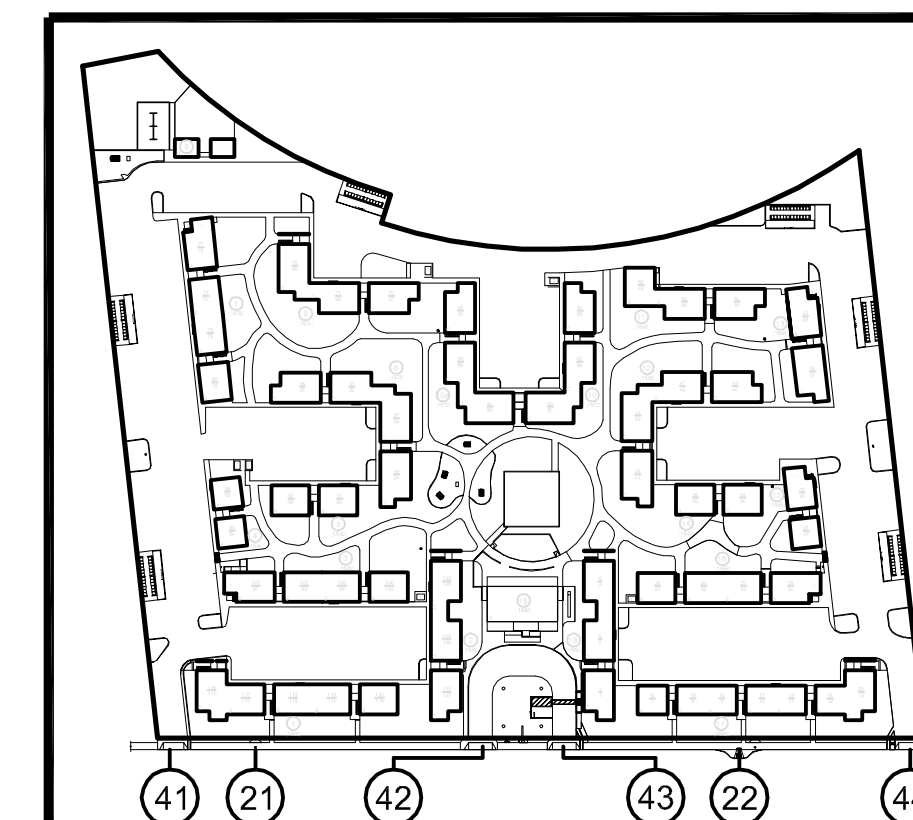
22 FIRE HYDRANT 2

SCALE : 3/16" = 1'-0"

ABBREVIATIONS:

(E) - EXISTING
EP - EDGE OF PAVEMENT
ES - EXISTING SURFACE
FL - FLOW LINE
FS - FINISHED SURFACE
TC - TOP OF CURB

BUILDING KEY PLAN



PROJECT

MADONNA
ROAD
APARTMENTS

A RENOVATION AND
UPGRADE PROJECT

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SAN LUIS OBISPO, CA

CLIENT JOB # ARCHITECT JOB #
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CALIFORNIA 93401

805-544-6161

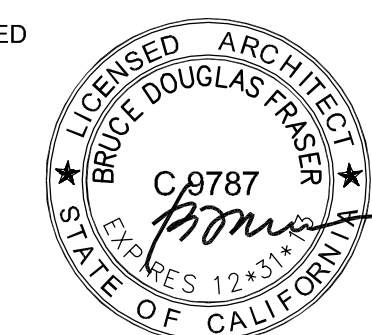
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PROJECT MANAGER BDF

DRAWN BY DDL

DATES 08-08-2012 1st SUBMITTAL
09-19-2012 1st RE-SUBMITTAL
10-05-2012 FOR CONSTRUCTION

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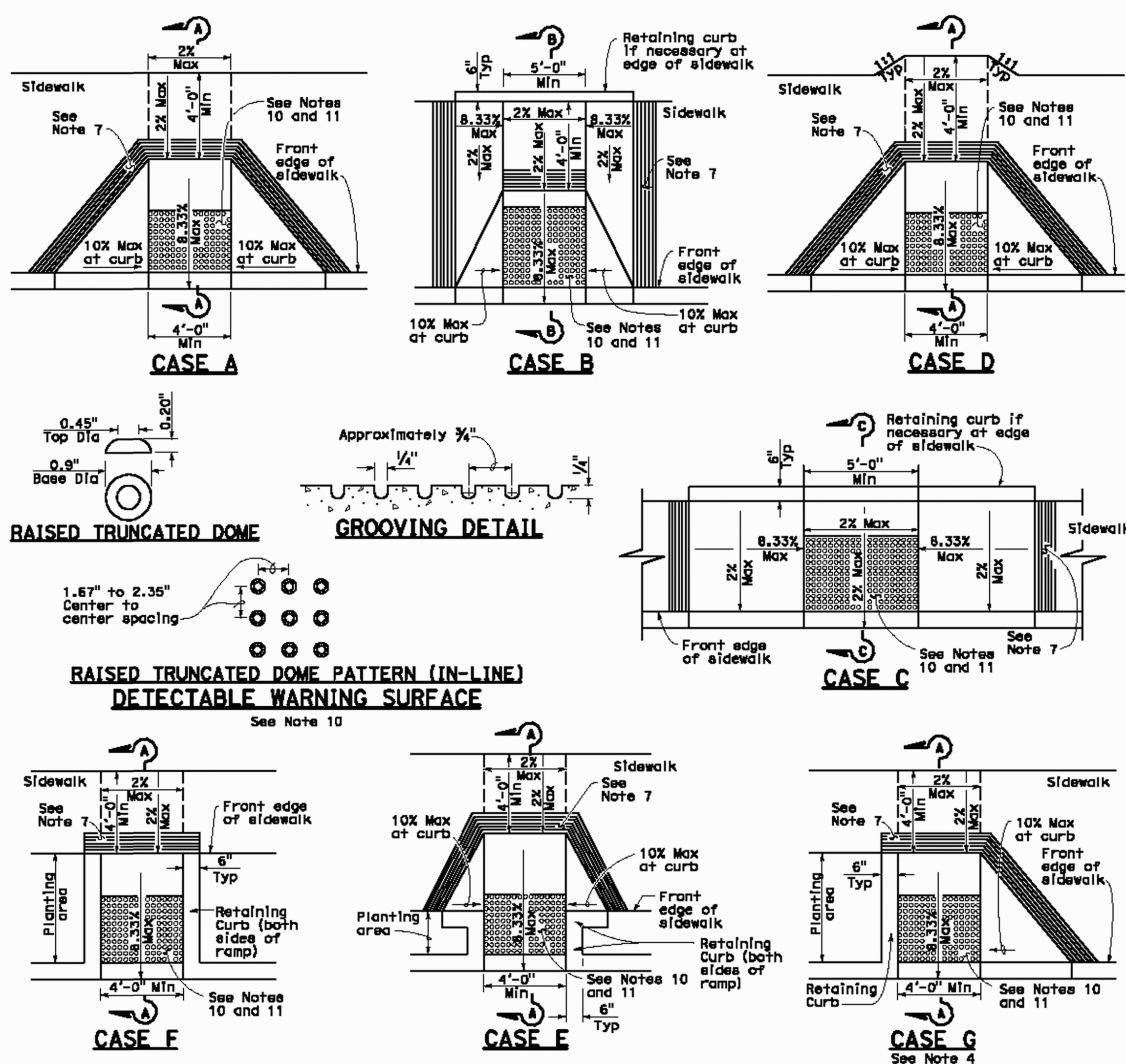
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SHEET TITLE
FRONTAGE
IMPROVEMENT
PLANS

SCALE: 3/16" = 1'-0"

SHEET #

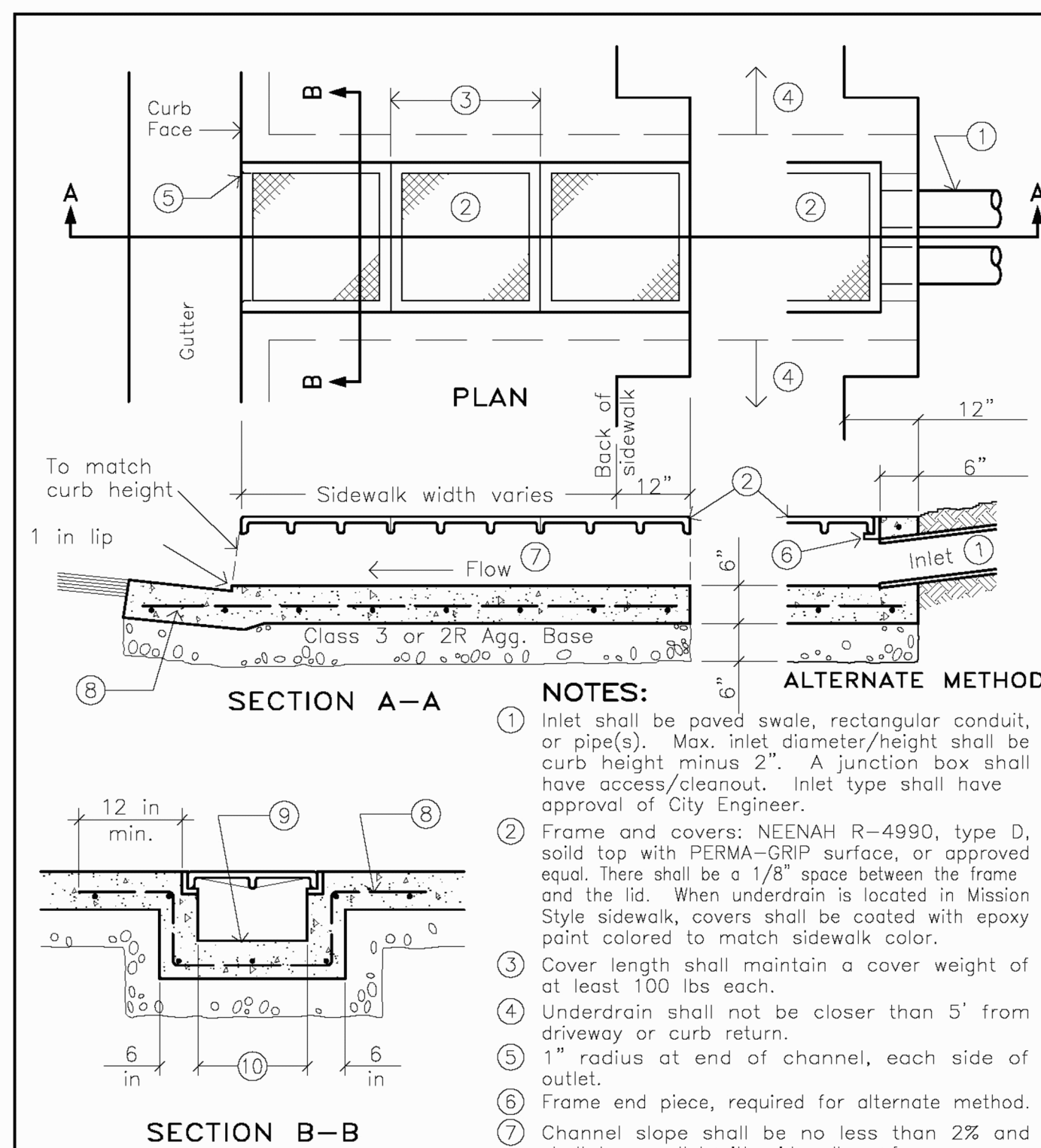
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**NOTES:**

- As site conditions dictate, Case A through Case G curb ramps may be used for corner installations similar to those shown in Detail A and Detail B. The case of curb ramps used in Detail A do not have to be the same. Case A through Case G curb ramps also may be used at mid block locations, as site conditions dictate.
- If distance from curb to back of sidewalk is too short to accommodate ramp and 4'-0" platform (landing) as shown in Case A, the sidewalk may be depressed longitudinally as in Case B, or C or may be widened as in Case D.
- When ramp is located in center of curb return, crosswalk configuration must be similar to that shown for Detail B.
- As site conditions dictate, the retaining curb side and the flared side of the Case G ramp shall be constructed in reversed position.
- If located on a curve, the sides of the ramp need not be parallel, but the minimum width of the ramp shall be 4'-0".
- Slope of ramp flares vary uniformly from a maximum of 10% at curb to conform with longitudinal sidewalk slope adjacent to top of the ramp, except in Case C and Case F.
- The curb ramp shall be outlined, as shown, with a 1'-0" wide border with 1/4" grooves approximately 3/4" on center. See grooving detail.
- Transitions from ramps and landing to walks, gutters or streets shall be flush and free of abrupt changes.
- Maximum slopes of adjoining gutters, the road surface immediately adjacent to the curb ramp or accessible route shall not exceed 5 percent within 4'-0" of the top and bottom of the curb ramp.
- Curb ramps shall have a detectable warning surface that extends the full width and 3'-0" depth of the ramp. Detectable Warning Surfaces shall conform to the details on this plan and the requirements in the Special Provisions.
- The edge of the detectable warning surface nearest the street shall be between 6" and 8" from the gutter flowline.
- Sidewalk and ramp thickness, "T", shall be 3/2" minimum.
- Utility pull boxes, manholes, vaults and all other utility facilities within the boundaries of the curb ramp will be relocated or adjusted to grade by the owner prior to, or in conjunction with, curb ramp construction.
- For retrofit conditions, removal and replacement of curb apron will be at the Contractor's option, unless otherwise shown on project plans.

STATE OF CALIFORNIA
DEPARTMENT OF TRANSPORTATION
CURB RAMP DETAILS
NO SCALE

RSP A88A DATED SEPTEMBER 1, 2006 SUPERSEDES STANDARD PLAN A88A
DATED MAY 1, 2006 - PAGE 115 OF THE STANDARD PLANS BOOK DATED MAY 2006.

REVISED STANDARD PLAN RSP A88A**NOTES:**

- Inlet shall be paved swale, rectangular conduit, or pipe(s). Max. inlet diameter/height shall be curb height minus 2". A junction box shall have access/cleanout. Inlet type shall have approval of City Engineer.
- Frame and covers: NEENAH R-4990, type D, solid top with PERMA-GRIP surface, or approved equal. There shall be a 1/8" space between the frame and the lid. When underdrain is located in Mission Style sidewalk, covers shall be coated with epoxy paint colored to match sidewalk color.
- Cover length shall maintain a cover weight of at least 100 lbs each.
- Underdrain shall not be closer than 5' from driveway or curb return.
- 1" radius at end of channel, each side of outlet.
- Frame and piece, required for alternate method.
- Channel slope shall be no less than 2% and shall be parallel with sidewalk surface.
- #4 rebar @ 12" o.c., both ways.
- Concrete shall be Class 3.
- Channel width varies, 18" min. and 3' max.
- See Engineering Standard #4110 for notes regarding required pavement removal & repair.

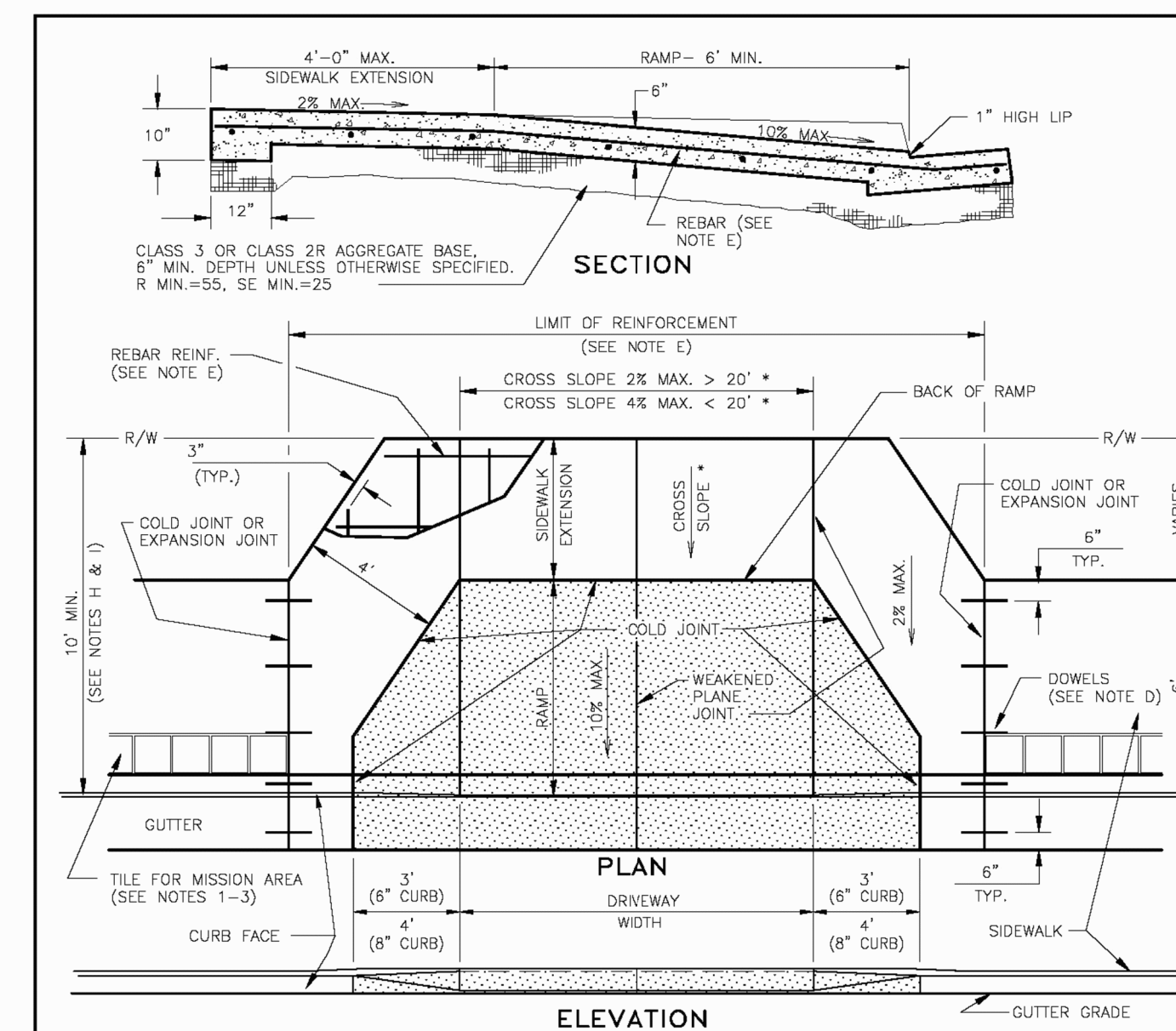
REVISIONS	BY	APP	DATE
New border	JDL	WAP	9-07
Remove Extents Rev.	DL	JDW	10-03
Revise re-bar specs	JDL	WAP	11-98
Rev. Note 2 & CL2R Base	DVB	BL	11-08

STANDARD CURRENT AS OF: January 2010

city of san luis obispo

SIDEWALK UNDERDRAIN WITH COVER PLATES

4910

**GENERAL NOTES:**

- A DEPRESSION IN A NEW CURB AND GUTTER FOR A DRIVEWAY WILL NOT BE PERMITTED UNLESS THE RAMP AND SIDEWALK EXTENSION ARE CONSTRUCTED ALSO.
- SLOPE OF RAMP IS A STRAIGHT GRADE FROM THE TOP OF THE BACK OF RAMP TO THE TOP OF THE LIP AT THE GUTTER.
- CONCRETE SHALL BE CLASS 3, SLUMP: 2" MIN., 4" MAX.
- DOWELS AT EXPANSION, OR COLD JOINT, WITH NEW CONSTRUCTION SHALL BE 1/2" SMOOTH BARS, 15" LONG AT 24" O.C., ONE END SHALL BE SLOTTED OR GROOVED.
- ALL RAMP AND SIDEWALK SHALL BE REINFORCED WITH REBAR, #4 @ 24" O.C., CONTINUOUS BOTH WAYS. (REBAR SHALL RUN CONTINUOUS THROUGH COLD OR EXPANSION JOINTS).
- COMMERCIAL & INDUSTRIAL DRIVEWAY RAMPS SERVING MORE THAN SIX (6) PARKING SPACES SHALL BE 10" DEEP (LONG) UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- SEE ENGINEERING STANDARD #4110 FOR NOTES REGARDING REQUIRED PAVEMENT REMOVAL & REPAIR.
- IF DESIGN WILL NOT FIT WITHIN RIGHT-OF-WAY, USE ENGINEERING STANDARD #2111 IF APPLICABLE, WITH APPROVAL OF CITY ENGINEER.
- IF RIGHT-OF-WAY IS MORE THAN 10' FROM CURB FACE, BACK OF SIDEWALK EXTENSION SHALL NOT EXTEND BEYOND 10' FROM CURB FACE.

ADD'L NOTES FOR MISSION STYLE AREA:

- CONCRETE SHALL BE COLORED (DMS "ADOCB", #8884) AND SHALL HAVE A SALT FINISH.
- TILE SHALL BE SET IN A MORTAR BED AND SHALL BE FLUSH WITH COVER FRAME AND SIDEWALK.
- NO TILE SHALL BE SET IN MORTAR PRIOR TO APPROVAL OF TILE BY CITY ENGINEER.
- TILE SHALL BE TERNAL UNGLAZED CERAMIC TILE, MISSION RED, 1 FOOT SQUARE, OR APPROVED EQUAL.
- TILE BAND SHALL TERMINATE, AS SHOWN, ON EITHER SIDE OF DRIVEWAY.
- UTILITY BOXES PER END STD. 1010A.

* ADDITIONAL NOTES FOR MISSION STYLE AREA SHALL APPLY IN THOSE AREAS DESIGNATED AS MISSION STYLE SIDEWALK AREA PER CITY COUNCIL RESOLUTION.

REVISIONS	BY	APP	DATE
Allow Class 2R Base	DVB	BL	11-08
Eliminate wrapped tile	DVB	BL	9-08
Add Notes 5 & 6	DVB	BL	9-08

STANDARD CURRENT AS OF: January 2010

city of san luis obispo

DRIVEWAY RAMP STANDARD

2110

PROJECT

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1550 MADONNA ROAD
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CLIENT JOB # ARCHITECT JOB #
1207

FRASER SEIPLE ARCHITECTS

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CALIFORNIA 93401

805-544-6161

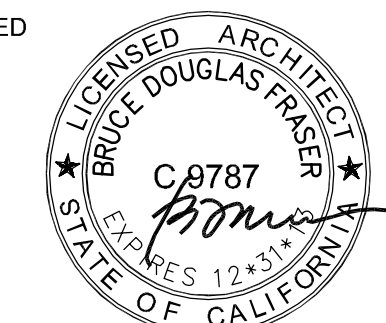
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SHEET TITLE

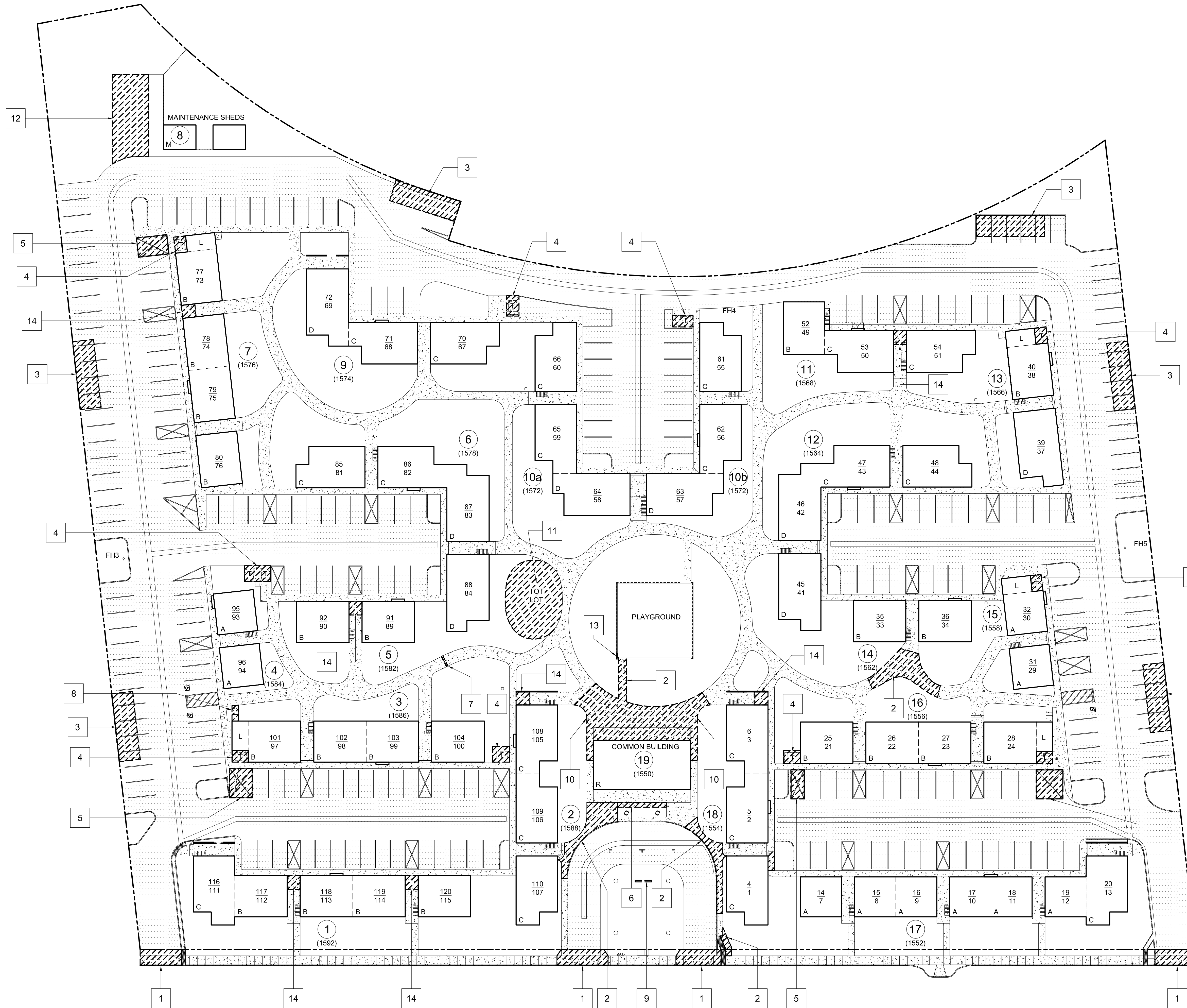
FRONTAGE IMPROVEMENT DETAILS

SCALE: 1" = 10'-0"

SHEET #

A0.2

\\UCHN\Madonna Rd Apts 1207\Drawings\0 - Drawing Sheets\A1.1 - Site Demolition Plan.dwg, 10/3/2012 10:31:56 PM



GENERAL NOTES:

1. REFER TO LANDSCAPE DRAWINGS FOR ALL GROUNDWORK AND SITE FURNISHINGS.

SITE PLAN KEYNOTES

1. DEMOLISH DRIVEWAY APRON, TYPICAL OF (4).
2. DEMOLISH PORTION OF CONCRETE WALKWAY THAT EXCEEDS MAXIMUM ALLOWABLE 2% CROSS SLOPE ALONG PATH OF TRAVEL. SEE SHEET A1.2 FOR NEW WORK..
3. EXCAVATE AC PAVING AND PREPARE FOR CONCRETE PAD FOR NEW TRASH ENCLOSURE. TYPICAL OF (6).
4. DEMOLISH FENCE AT TRASH ENCLOSURE. TYPICAL OF (10).
5. REMOVE "NO PARKING" STRIPING, TYPICAL OF (4).
6. DEMOLISH CONCRETE WALK ADJACENT TO PLANTER.
7. GRIND OFFSET IN CONCRETE WALK ALONG ACCESSIBLE PATH OF TRAVEL.
8. DEMOLISH NON-COMPLIANT STEPS AND LANDING TO LAUNDRY ROOM 1.
9. DEMOLISH MONUMENT SIGN.
10. PREP EXISTING CONCRETE SURFACE FOR NEW HIGH STRENGTH CONCRETE OVER-POUR.
11. REMOVE TOT-LOT SAND AND BORDER. SEE SHEET L.1 FOR NEW WORK IN THIS AREA.
12. DEMOLISH AC PAVING AS INDICATED.
13. DEMOLISH PORTION OF CMU BORDER TO INTERSECT NEW CONCRETE WALKWAY.
14. DEMOLISH EXISTING NON-CONFORMING STEPS WITH RISERS UNDER 4". REFER TO SHEET A1.2 FOR LOCATIONS. SEE DETAIL 43 / A5.03.

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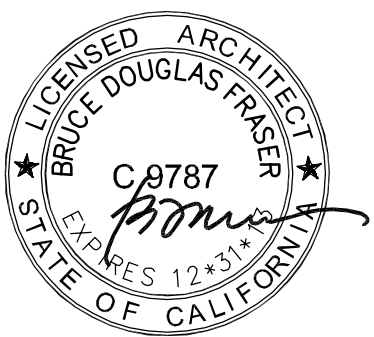
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SHEET TITLE

SITE DEMOLITION PLAN

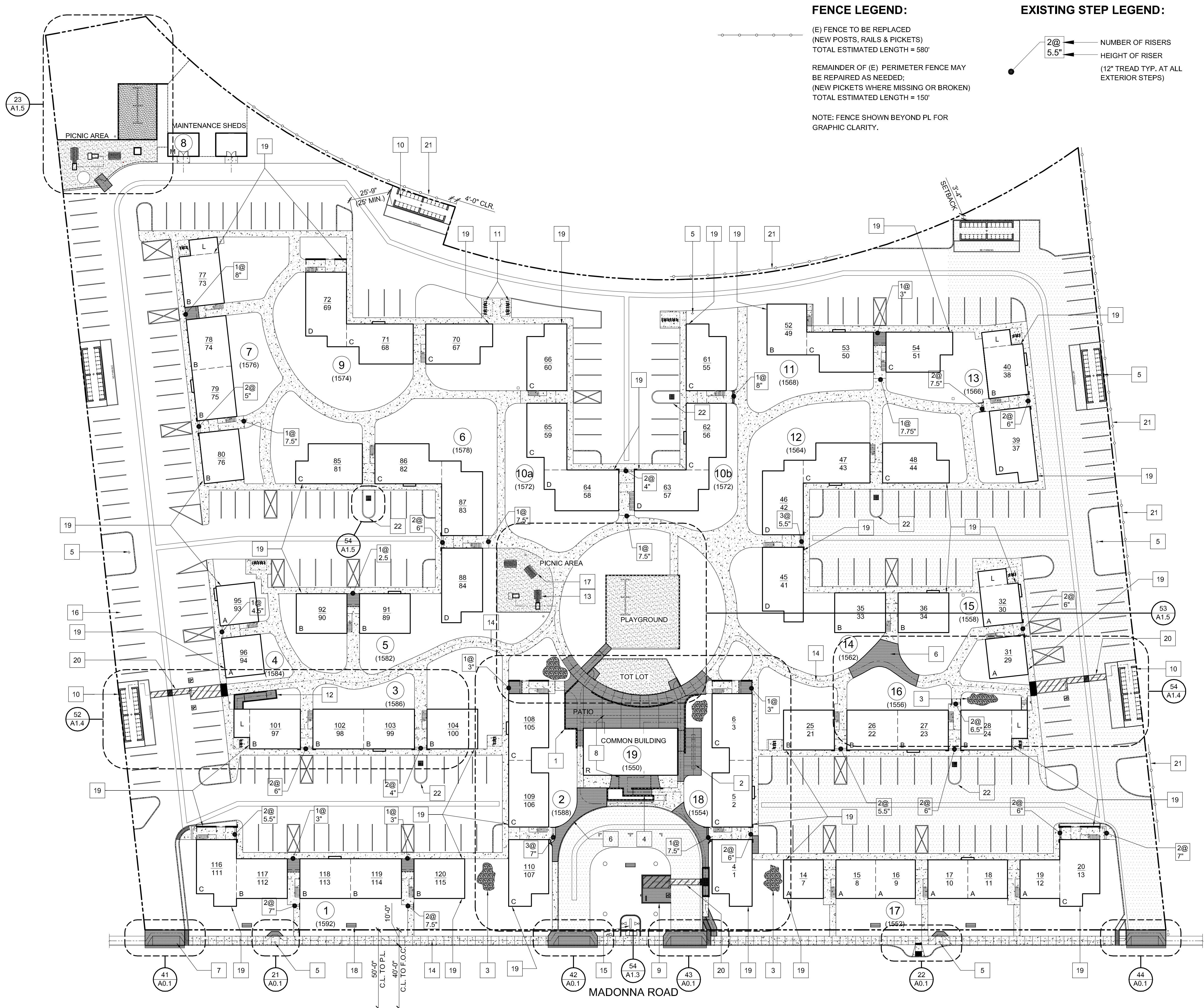
SCALE: 1" = 30'=0"

SHEET #

A1.1

30' 15' 0' 30' 60'
SCALE: 1"= 30FT.

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FENCE LEGEND:

(E) FENCE TO BE REPLACED
(NEW POSTS, RAILS & PICKETS)
TOTAL ESTIMATED LENGTH = 580'

REMAINDER OF (E) PERIMETER FENCE MAY
BE REPAIRED AS NEEDED;
(NEW PICKETS WHERE MISSING OR BROKEN)
TOTAL ESTIMATED LENGTH = 150'

NOTE: FENCE SHOWN BEYOND PL FOR
GRAPHIC CLARITY.

EXISTING STEP LEGEND:

2@
5.5" NUMBER OF RISERS
HEIGHT OF RISER
(12" TREAD TYP. AT ALL
EXTERIOR STEPS)

EXISTING SITE STEP NOTES:

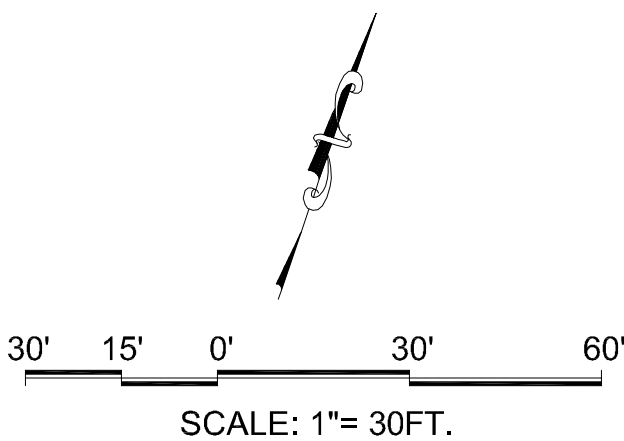
- STEPS LESS THAN 4" IN HEIGHT WILL REQUIRE
REMOVAL AND REPLACEMENT WITH A 5% MAX.
SLOPED WALKWAY. REFER TO DETAIL 43 / A5.03
- WHERE EXISTING STEPS HAVE MORE THAN 1
RISER, INSTALL HANDRAILS AS INDICATED ON
DETAILS 34 & 44 / A5.03.
- AT EXISTING 8" STEP, POUR NEW 12" WIDE x 4"
HIGH TREAD TO CREATE COMPLIANT STEPS WITH
(2) 4" RISERS.
- PROVIDE PERMANENT NOSING MARKINGS OF
STAIRS AND STEPS FOR THE VISUALLY IMPAIRED -
2" MINIMUM WIDE FOR THE FULL WIDTH OF TREAD
WITH CONTRASTING COLOR AT EACH TREAD OF
EXTERIOR STAIRWAY OR STEPS.

GENERAL NOTES:

- REFER TO LANDSCAPE DRAWINGS FOR ALL
GROUNDWORK AND SITE FURNISHINGS.

SITE PLAN KEYNOTES

- GROUTLESS CMU PATIO WALL WITH CAP, SEE
SHEET A1.6.
- ACCESSIBLE MAILBOXES. RELOCATE EXISTING
MAILBOXES AND MODIFY FOR ACCESSIBILITY.
- BIOSWALE. SEE LANDSCAPE DRAWINGS.
- NEW ACCESSIBLE ENTRANCE RAMP AND LANDING
TO COMMON BUILDING. SEE DETAIL 52 / A1.9.
- EXISTING FIRE HYDRANT. TYPICAL OF (5).
- NEW CONCRETE WALKWAY; 5% MAX. SLOPE IN
DIRECTION OF TRAVEL, 2% MAX. CROSS SLOPE.
- NEW ACCESSIBLE DRIVEWAY APRON.
- NEW CONCRETE LEVEL LANDING; 2% MAX. SLOPE
IN ANY DIRECTION.
- NEW VAN ACCESSIBLE PARKING STALL. SEE
DETAIL 32 / A1.7.
- NEW MODIFIED CITY STANDARD TRASH
ENCLOSURE. SEE DETAIL 22 / A1.8.
- NEW BIKE RACKS ON EXISTING CONCRETE PADS
BEHIND EACH LAUNDRY ROOM AND WHERE EACH
DUMPSTER IS BEING REMOVED. TYPICAL OF (11)
LOCATIONS.
- CONCRETE RAMP. 8.33% MAX. SLOPE IN
DIRECTION OF TRAVEL, 2% MAX. CROSS SLOPE.
SEE DETAILS 41 / A1.7 AND 53 / A1.9.
- ACCESSIBLE BBQ.
- ACCESSIBLE PATH OF TRAVEL; 5% MAX. SLOPE IN
DIRECTION OF TRAVEL; 2% MAX. CROSS SLOPE.
- MONUMENT SIGN. SEE DETAIL 54 / A1.7.
- STANDARD PARKING STALL. SEE DETAIL 33 / A1.7.
- PICNIC TABLE.
- PARK BENCH.
- PROVIDE APPROVED ADDRESS NUMBERS
PERMANENTLY FIXED TO BUILDING VISIBLE FROM
STREET OR DRIVEWAY FRONTING BUILDING.
NUMBERS SHALL BE MINIMUM 4" HIGH WITH
MINIMUM 1/2" STROKE WIDTH, CONTRASTING
COLOR TO BACKGROUND. CFC 505.1 SEE NOTE
15 SHEET A5.01
- WARNING STRIPING: 4" MIN. WIDTH WITH 4" WIDE
BLUE BOARDER AND 4" WIDE BLUE STRIPING @
36" O/C; 5% MAX. SLOPE IN DIRECTION OF TRAVEL
& 2% MAX. CROSS SLOPE.
- EXISTING FENCE TO BE REPLACED. SEE FENCE
LEGEND.
- NEW CONCRETE CURB AROUND EXISTING
TRANSFORMER VAULTS. EXISTING BOLLARDS TO
BE REMOVED. TYPICAL 5 LOCATIONS. REFER TO
DETAIL 54 / A1.5



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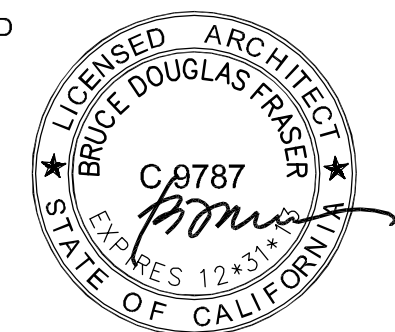
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SHEET TITLE

NEW SITE PLAN

SCALE: 1" = 30'=0"

SHEET #

A1.2

**1550 MADONNA ROAD
SAN LUIS OBISPO, CA**

**FRASER
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ARCHITECTS

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SITE PLAN KEYNOTES

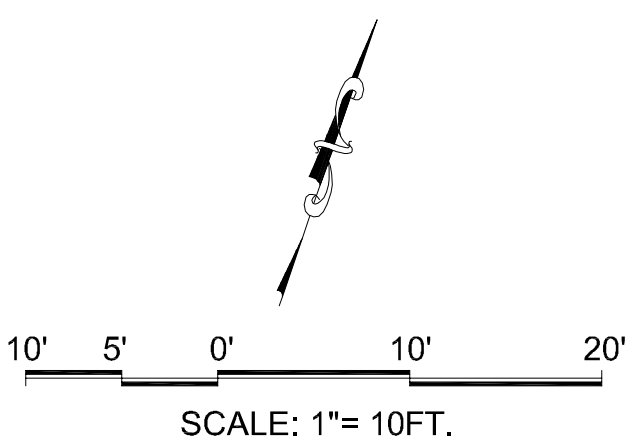
1. NEW 24" HIGH CMU WALL WITH CAP. SEE SHEET **A1.6**.
2. ACCESSIBLE MAILBOXES.
3. INCOMING / OUTGOING PARCEL BOXES.
4. PLANTER WITH PERFORATED DRAIN TO DAYLIGHT. SEE SECTION **C / A1.6**.
5. REFER TO LANDSCAPE DRAWINGS FOR TREE REMOVAL.
6. NEW CONCRETE WALKWAY; 5% MAX. SLOPE IN DIRECTION OF TRAVEL, 2% MAX. CROSS SLOPE.
7. NEW 6" CONCRETE CURB.
8. NEW CONCRETE LEVEL LANDING; 2% MAX. SLOPE IN ANY DIRECTION.
9. NEW CONCRETE STEP. SEE DETAIL **34 / A5.03**.
10. DETECTABLE WARNING SURFACE, FULL WIDTH, MIN. 36" IN DIRECTION OF TRAVEL. SEE DOT CURB RAMP DETAILS **A88A SHEET A0.2**.
11. NEW VAN ACCESSIBLE PARKING STALL. SEE DETAIL **32 / A1.7**.
12. NEW HANDRAIL. SEE DETAIL **34 / A5.03**.
13. NEW BIKE RACKS ON EXISTING CONCRETE PADS BEHIND EACH LAUNDRY ROOM AND WHERE EACH DUMPSTER IS BEING REMOVED. TYPICAL OF (11) LOCATIONS.
14. NEW CONCRETE RAMP. 8.33% MAX. SLOPE IN DIRECTION OF TRAVEL, 2% MAX. CROSS SLOPE. SEE SHEET **A1.9** FOR HANDRAIL ELEVATIONS.
15. DEMOLISH EXISTING NON-CONFORMING STEPS WITH RISERS UNDER 4". REFER TO SHEET **A1.2** FOR LOCATIONS. SEE DETAIL **43 / A5.03**.
16. NOT USED.
17. ACCESSIBLE PATH OF TRAVEL; 5% MAX. SLOPE IN DIRECTION OF TRAVEL; 2% MAX. CROSS SLOPE.
18. NEW MONUMENT SIGN. SEE DETAIL **54 / A1.7**.
19. NOT USED.
20. REFER TO SITE LIGHTING PLAN.
21. EXISTING TREE TO REMAIN. REFER TO SHEET **L.0**
22. NEW BIOSWALE. SEE LANDSCAPE DRAWINGS.
23. WHERE CONCRETE DRAINAGE SWALE INTERSECTING PATH OF TRAVEL EXCEEDS 5% MAX. SLOPE, INFILL WITH CONCRETE TO MAINTAIN ACCEPTABLE SLOPE; ADD 1/4" WIDE GROOVES @ 3" O.C. IN DIRECTION OF FLOW LINE TO FACILITATE DRAINAGE.
24. WARNING STRIPING: 4" MIN. WIDTH WITH 4" WIDE BLUE BOARDER AND 4" WIDE BLUE STRIPING @ 36" O/C; 5% MAX. SLOPE IN DIRECTION OF TRAVEL & 2% MAX. CROSS SLOPE.
25. SEE SHEET **A1.5** FOR FURTHER DETAILS IN THIS AREA.

DATES	<u>08-08-2012 1st SUBMITTAL</u>
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	<u>10-05-2012 FOR CONSTRUCTION</u>

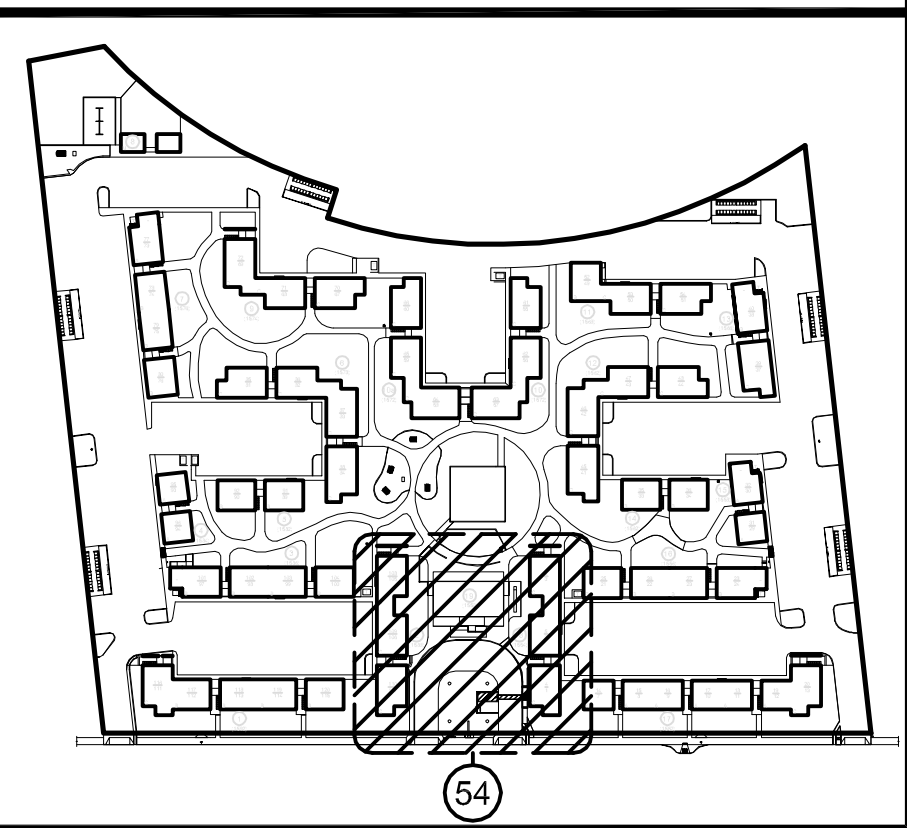
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ENLARGED SITE PLAN

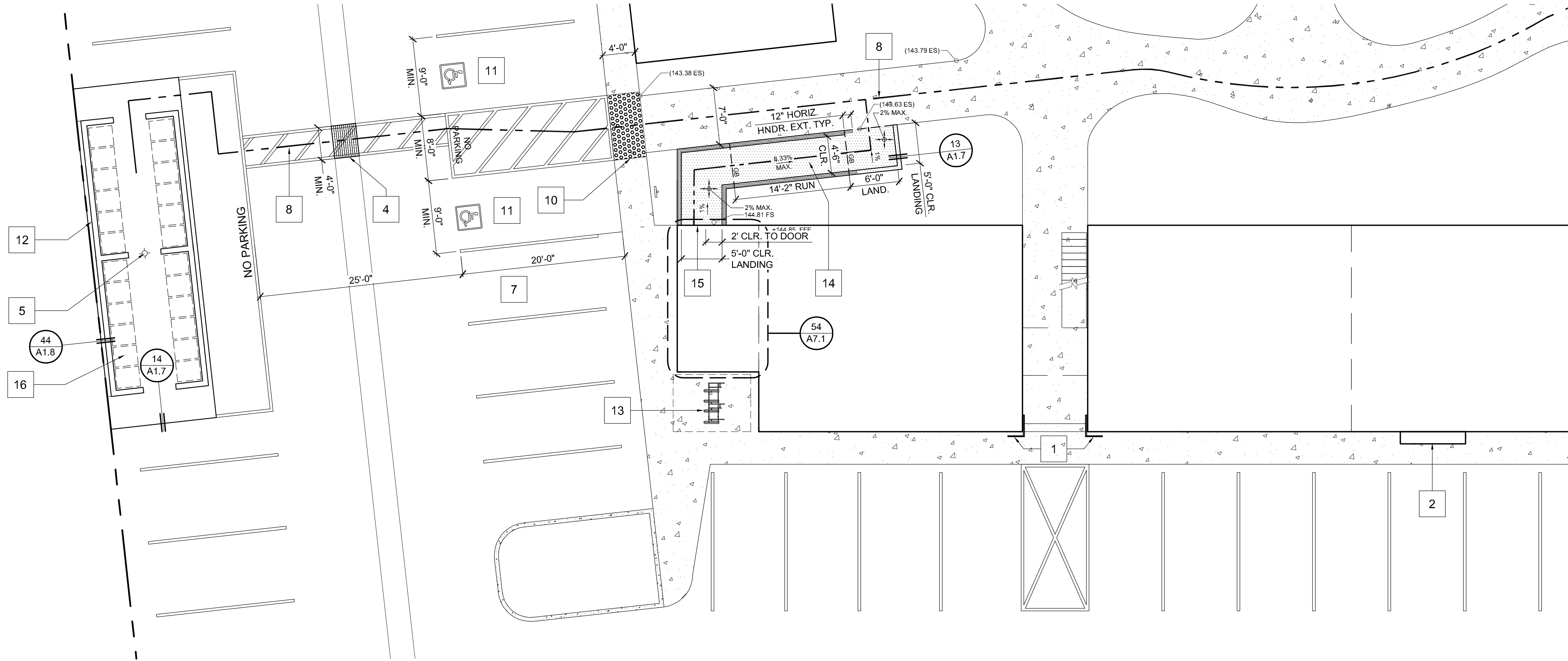
A1.3



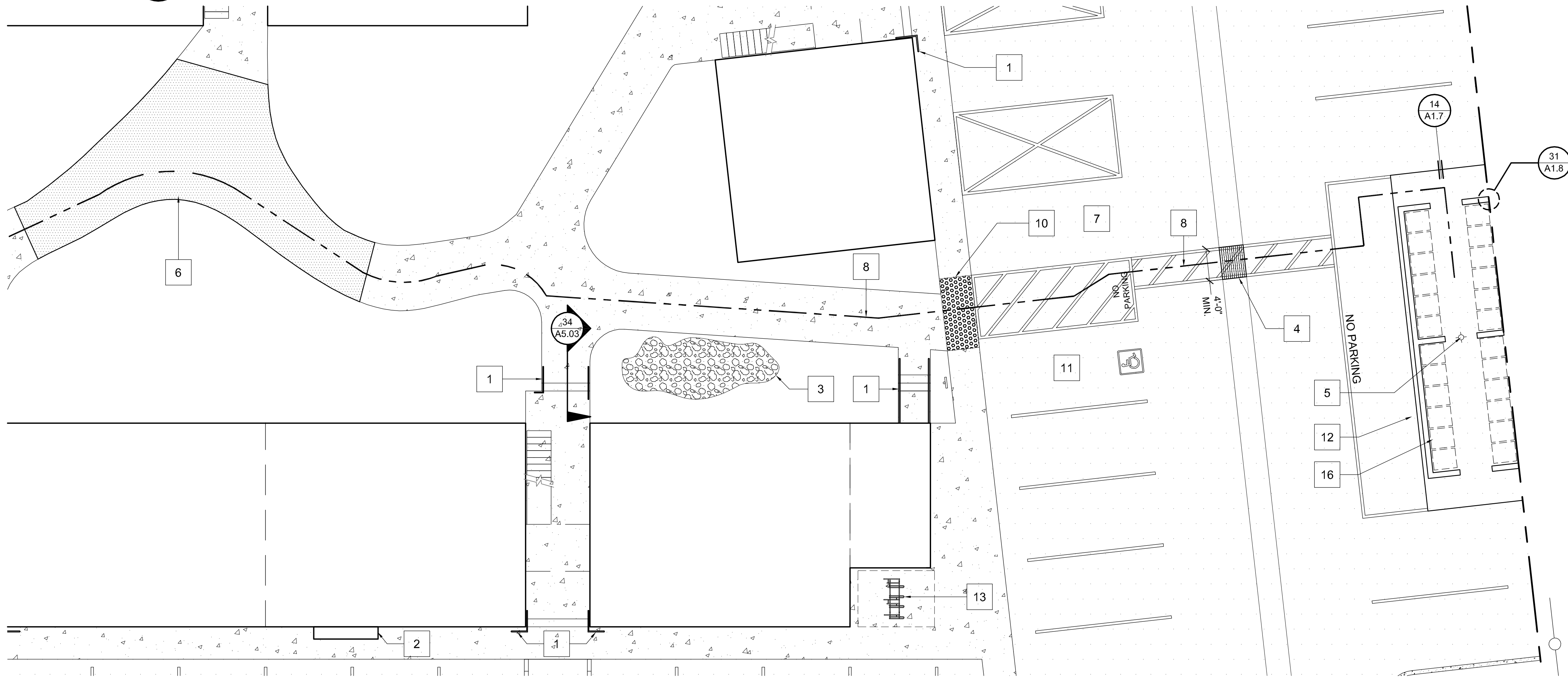
BUILDING KEY PLAN



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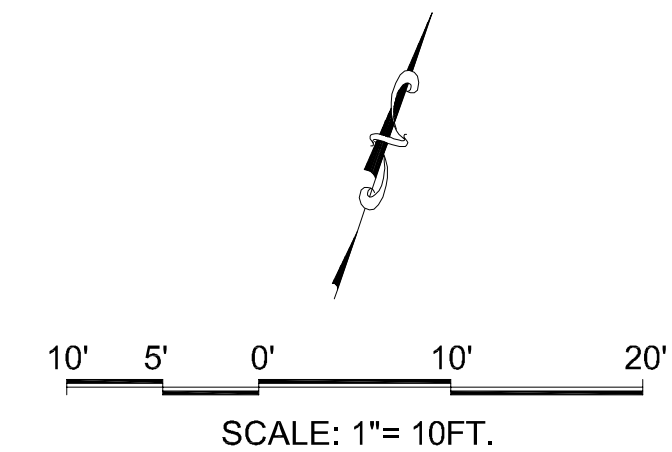
52 ENLARGED SITE PLAN (ACCESSIBLE TRASH ENCLOSURE 1 & ACCESSIBLE LAUNDRY 1)



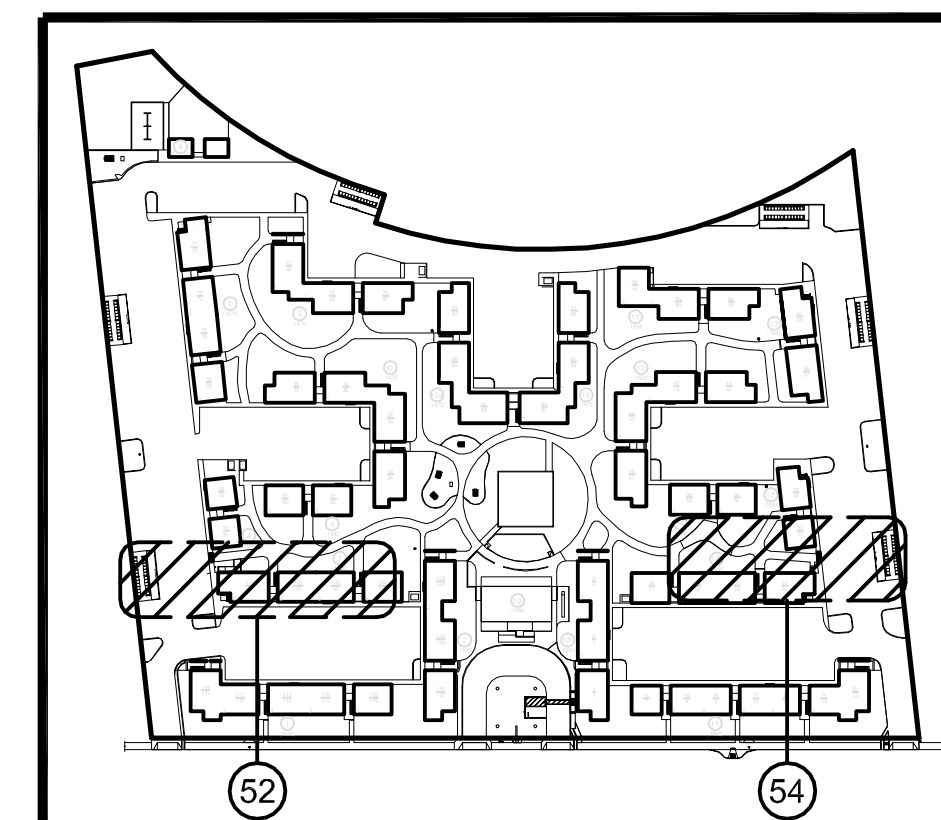
54 ENLARGED SITE PLAN (ACCESSIBLE TRASH ENCLOSURE 6)

SITE PLAN KEYNOTES

1. NEW HANDRAIL. SEE DETAILS **34 & 44 / A5.03**.
2. EXISTING ELECTRICAL CABINET. SEE NOTE **1 / E2.0**.
3. NEW BIOSWALE. SEE LANDSCAPE DRAWINGS.
4. WHERE CONCRETE DRAINAGE SWALE INTERSECTING PATH OF TRAVEL EXCEEDS 5% MAX. SLOPE, INFILL WITH CONCRETE TO MAINTAIN ACCEPTABLE SLOPE; ADD 1/4" WIDE GROVES @ 3" O.C. IN DIRECTION OF FLOW LINE TO FACILITATE DRAINAGE.
5. REFER TO SITE LIGHTING PLAN, SHEET **E2.1**.
6. NEW CONCRETE WALKWAY; 5% MAX. SLOPE IN DIRECTION OF TRAVEL, 2% MAX. CROSS SLOPE..
7. STANDARD PARKING STALL. SEE DETAIL **33 / A1.7**.
8. ACCESSIBLE PATH OF TRAVEL; 5% MAX. SLOPE IN DIRECTION OF TRAVEL; 2% MAX. CROSS SLOPE.
9. NOT USED.
10. DETECTABLE WARNING SURFACE, FULL WIDTH, MIN. 36" IN DIRECTION OF TRAVEL. SEE DOT CURB RAMP DETAILS **A88A** SHEET **A0.2**.
11. NEW VAN ACCESSIBLE PARKING STALL. SEE DETAIL **32 / A1.7**.
12. NEW MODIFIED CITY STANDARD TRASH ENCLOSURE. SEE **22 / A1.8** FOR DIMENSIONS.
13. NEW BIKE RACKS ON EXISTING CONCRETE PADS BEHIND EACH LAUNDRY ROOM AND WHERE EACH DUMPSTER IS BEING REMOVED. TYPICAL OF (11) LOCATIONS.
14. NEW CONCRETE RAMP. 8% MAX. SLOPE IN DIRECTION OF TRAVEL, 2% MAX. CROSS SLOPE. SEE DETAIL **41 / A1.7**.
15. 5'-0" x 5'-0" LEVEL LANDING; 2% MAX. SLOPE IN ANY DIRECTION, MIN. 2' CLR. ON STRIKE SIDE OF DOOR.
16. 96 GALLON ROLL-AWAY TRASH BIN. 12 TRASH & 12 RECYCLE PER ENCLOSURE. 6 ENCLOSURES = 72 TRASH BINS & 72 RECYCLE BINS TOTAL WHICH IS EQUIVALENT TO THE (12) 3 YARD DUMPSTERS BEING REPLACED.



BUILDING KEY PLAN



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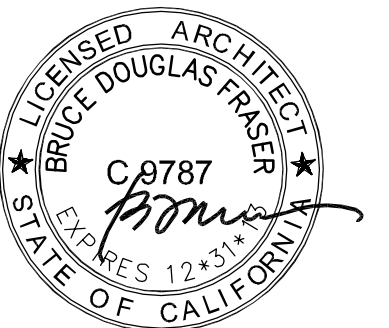
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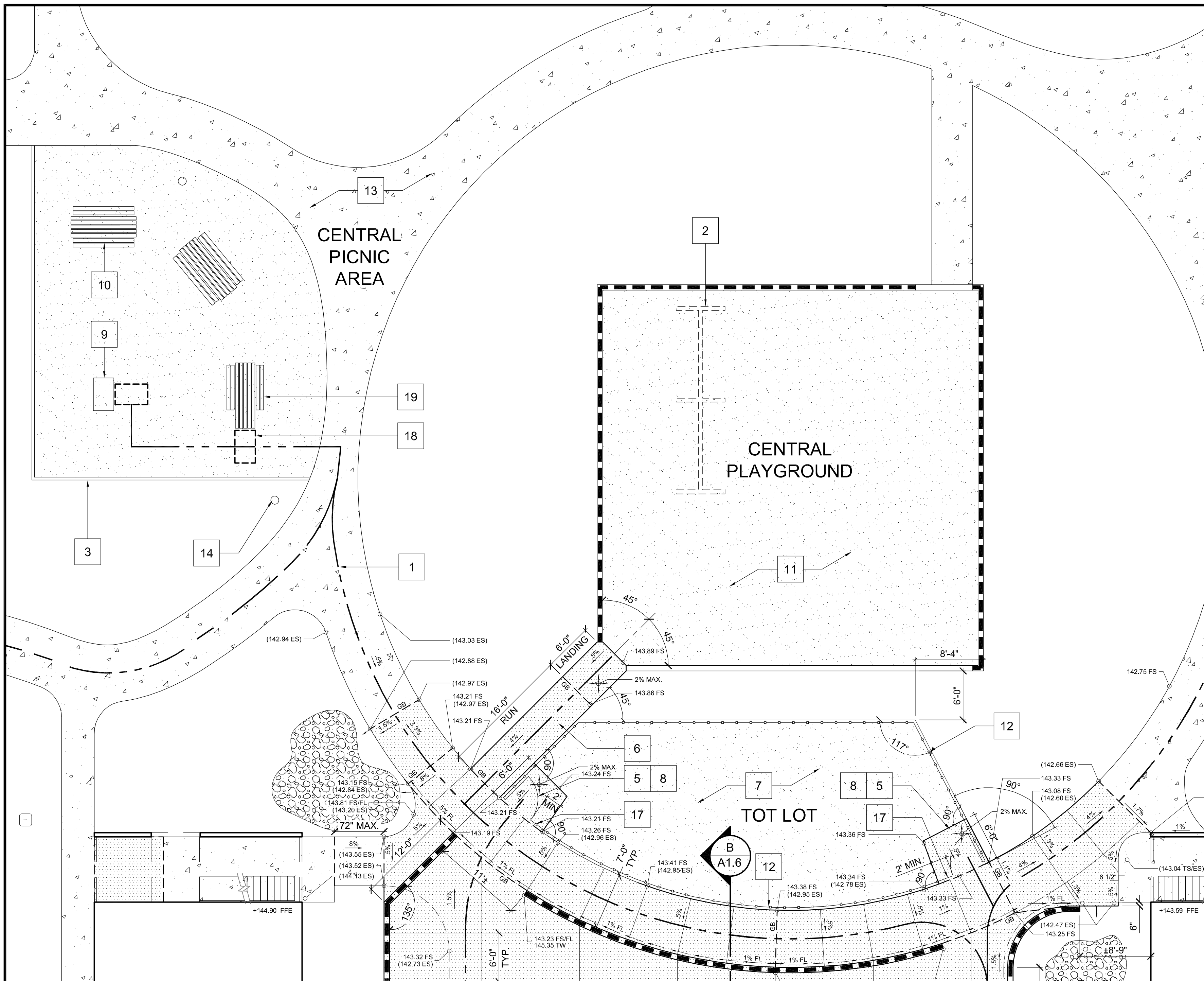
SHEET TITLE
ENLARGED SITE
PLANS

SCALE: 1/8" = 1'-0"

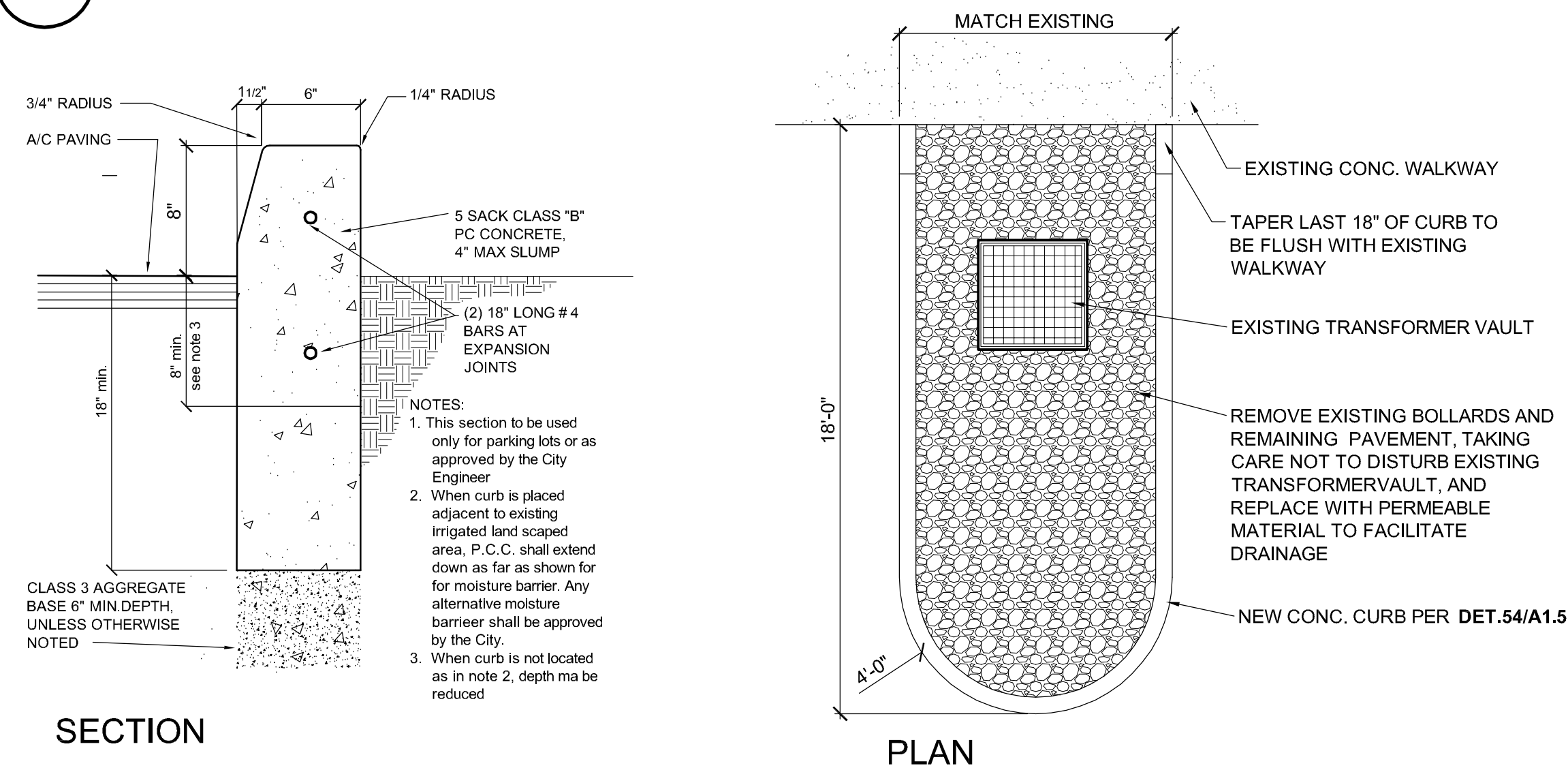
SHEET #

A1.4

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53 ENLARGED SITE PLAN (CENTRAL COMMONS PATH OF TRAVEL)

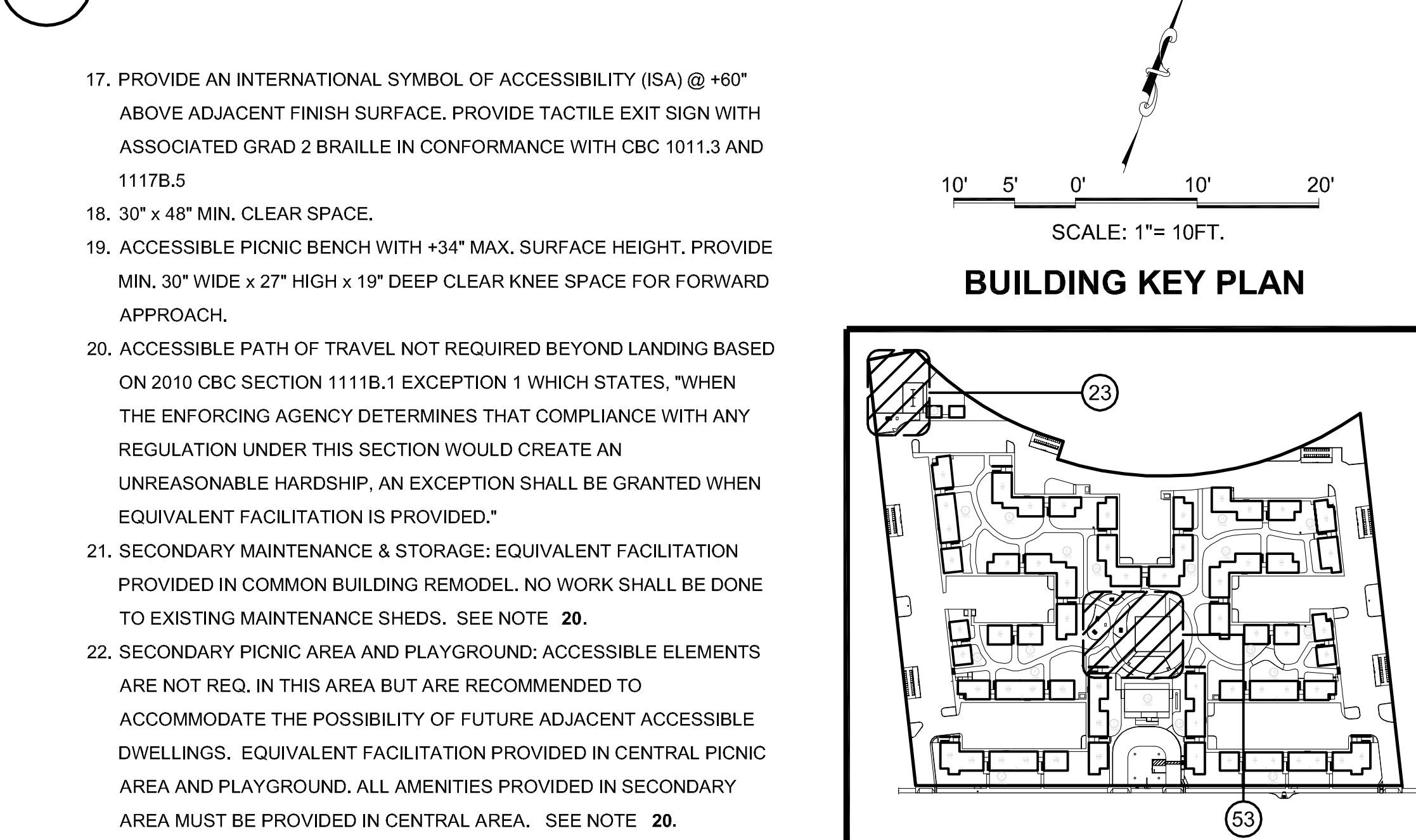


54 CONC. CURB BARRIER AT EXISTING TRANSFORMER VAULTS
NTS

SITE PLAN KEYNOTES

1. ACCESSIBLE PATH OF TRAVEL; 5% MAX. SLOPE IN DIRECTION OF TRAVEL; 2% MAX. CROSS SLOPE.
2. (N) SWING SET WITH REQ. FALL PROTECTION ZONE. SEE LANDSCAPE DRAWINGS FOR ACTUAL EQUIPMENT AND PLACEMENT.
3. NEW EDGE RESTRAINT. SEE SHEET L.1
4. TREE WELL. SEE SHEET L.1
5. 4' WIDE ACCESSIBLE GATE. SEE DETAIL 24 / A1.8
6. NEW CONCRETE WALKWAY; 5% MAX. SLOPE IN DIRECTION OF TRAVEL, 2% MAX. CROSS SLOPE.
7. NEW TOT LOT. SEE SHEET L.1
8. NEW CONCRETE LEVEL LANDING; 2% MAX. SLOPE IN ANY DIRECTION.
9. NEW ACCESSIBLE BBQ.
10. NEW PICNIC TABLE.
11. PLAY AREA. SEE SHEET L.1
12. NEW FENCE. SEE SHEET L.1
13. NEW PICNIC AREA. SEE SHEET L.1
14. REFER TO SITE LIGHTING PLAN, SHEET E2.1.
15. NOT USED.
16. RELOCATE (E) SWING SET TO THIS LOCATION AND MAINTAIN MIN. REQUIRED FALL PROTECTION ZONE.

23 ENLARGED SITE PLAN (SECONDARY PLAYGROUND / PICNIC AREA)



PROJECT

MADONNA ROAD APARTMENTS

A RENOVATION AND UPGRADE PROJECT

1550 MADONNA ROAD
SAN LUIS OBISPO, CA

CLIENT JOB # ARCHITECT JOB #
1207

FRASER
SEIPLE
ARCHITECTS

971 OSOS STREET
SAN LUIS OBISPO
CALIFORNIA 93401

805-544-6161

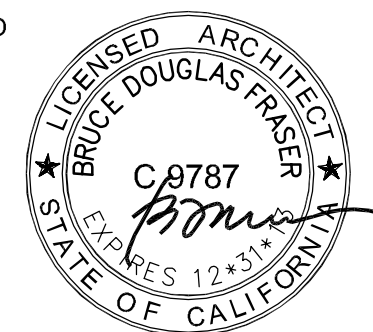
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09-19-2012 1st RE-SUBMITTAL
10-05-2012 FOR CONSTRUCTION

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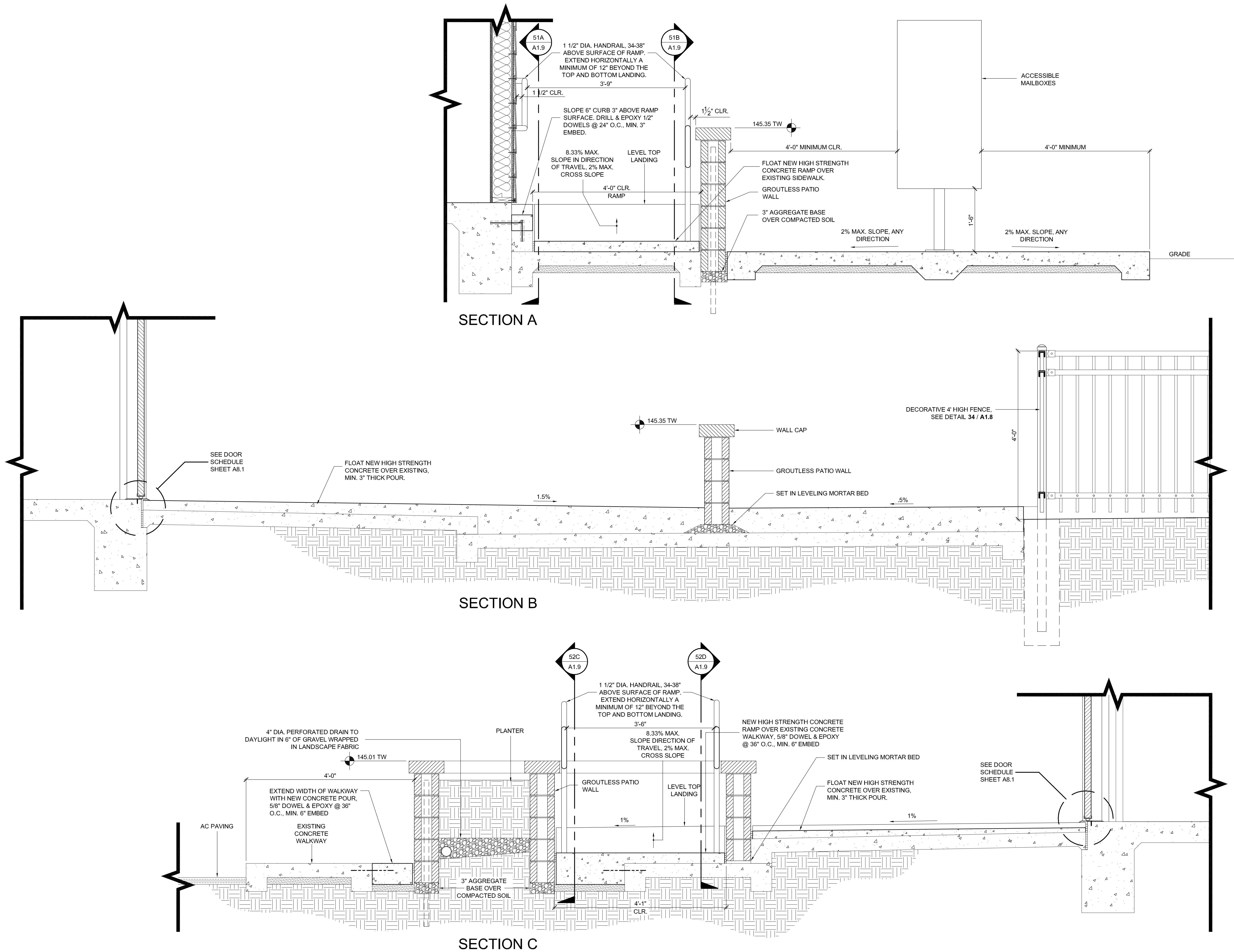
SHEET TITLE
ENLARGED SITE PLANS

SCALE: 1/8" = 1'=0"

SHEET #

A1.5

\\UCHN\Madonna Rd Apts 1207\Drawings\0 - Drawing Sheets\A1.6 - Site Sections.dwg, 10/3/2012 10:35:07 PM



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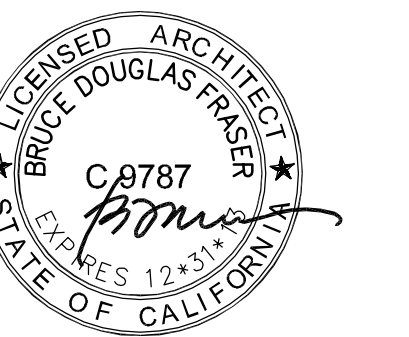
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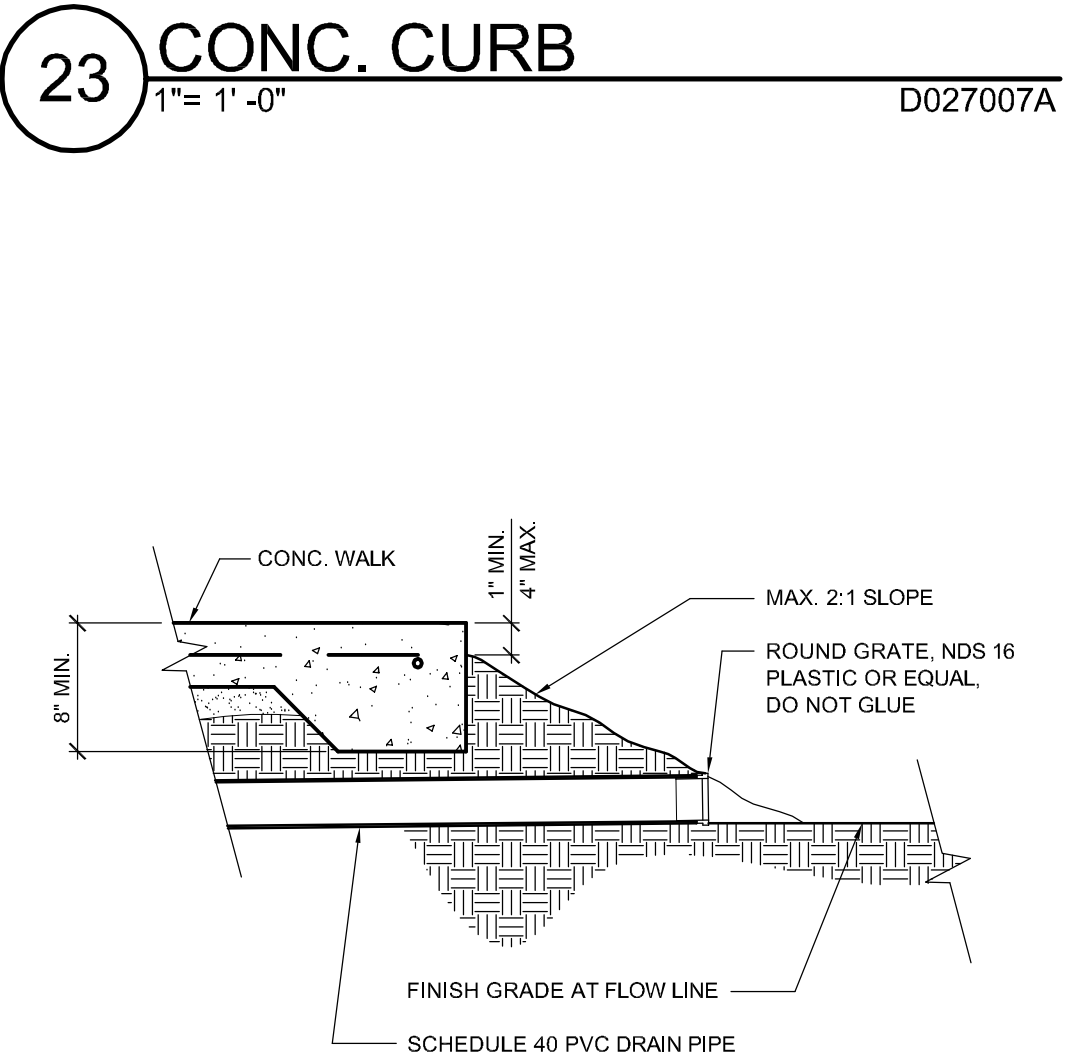
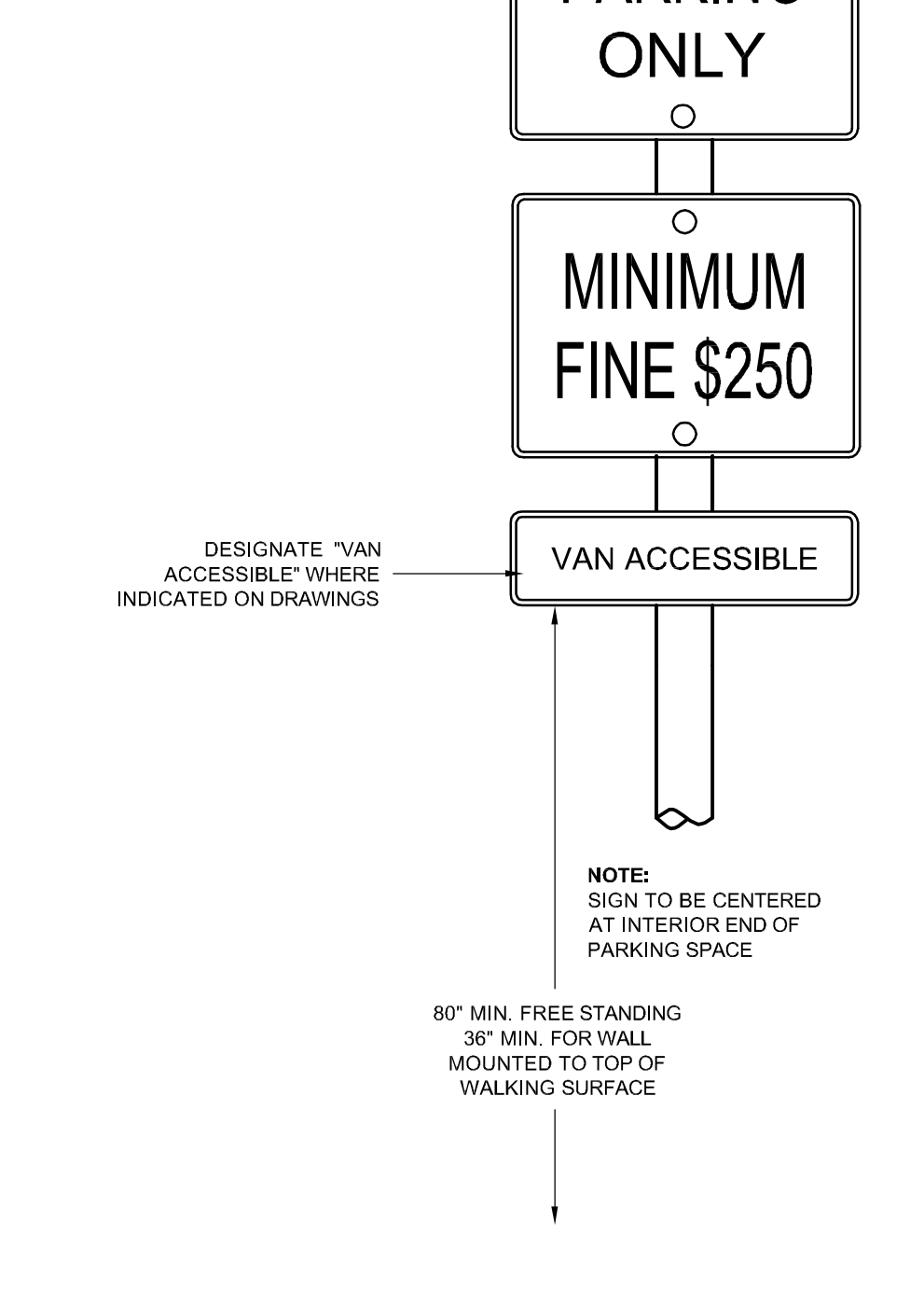
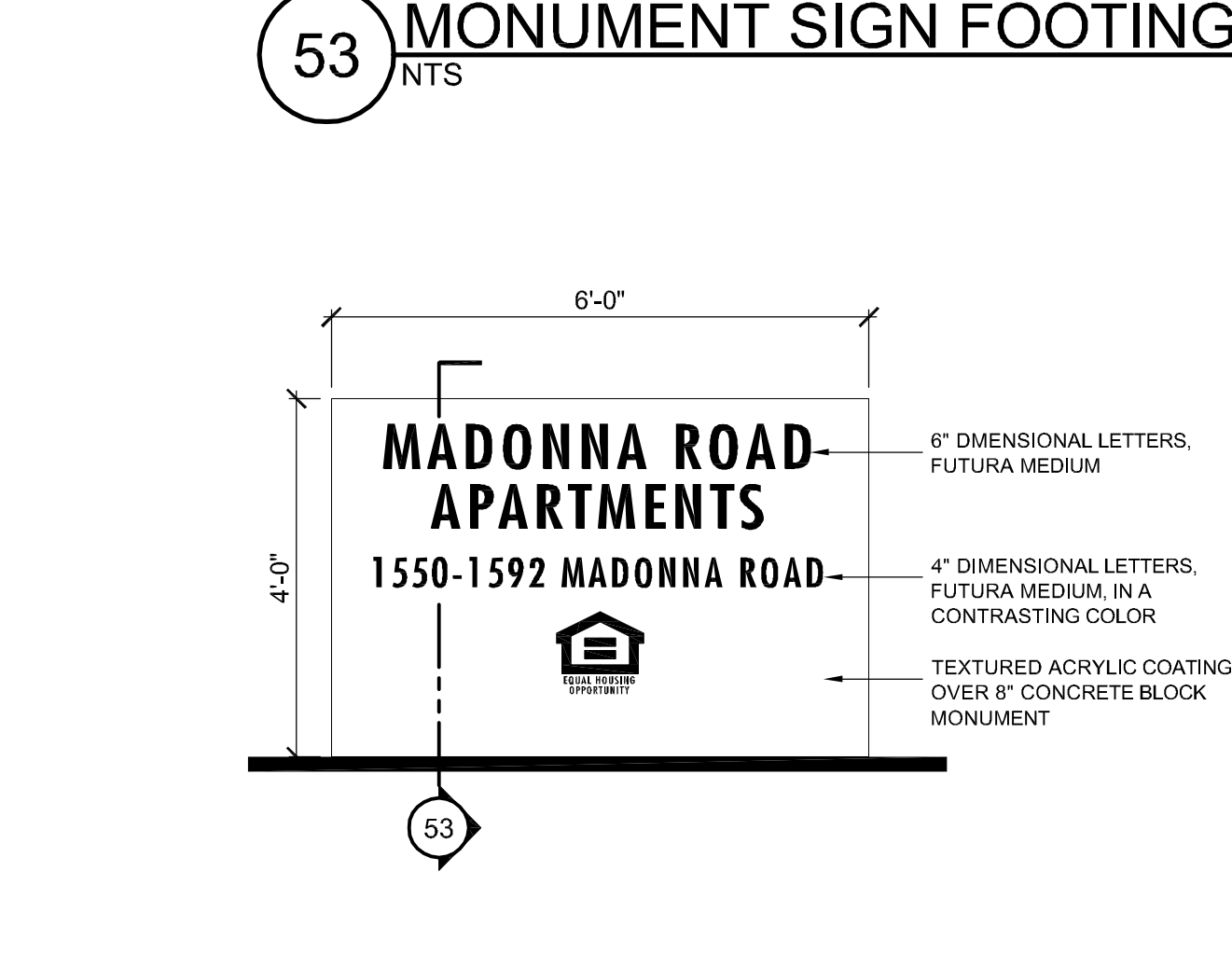
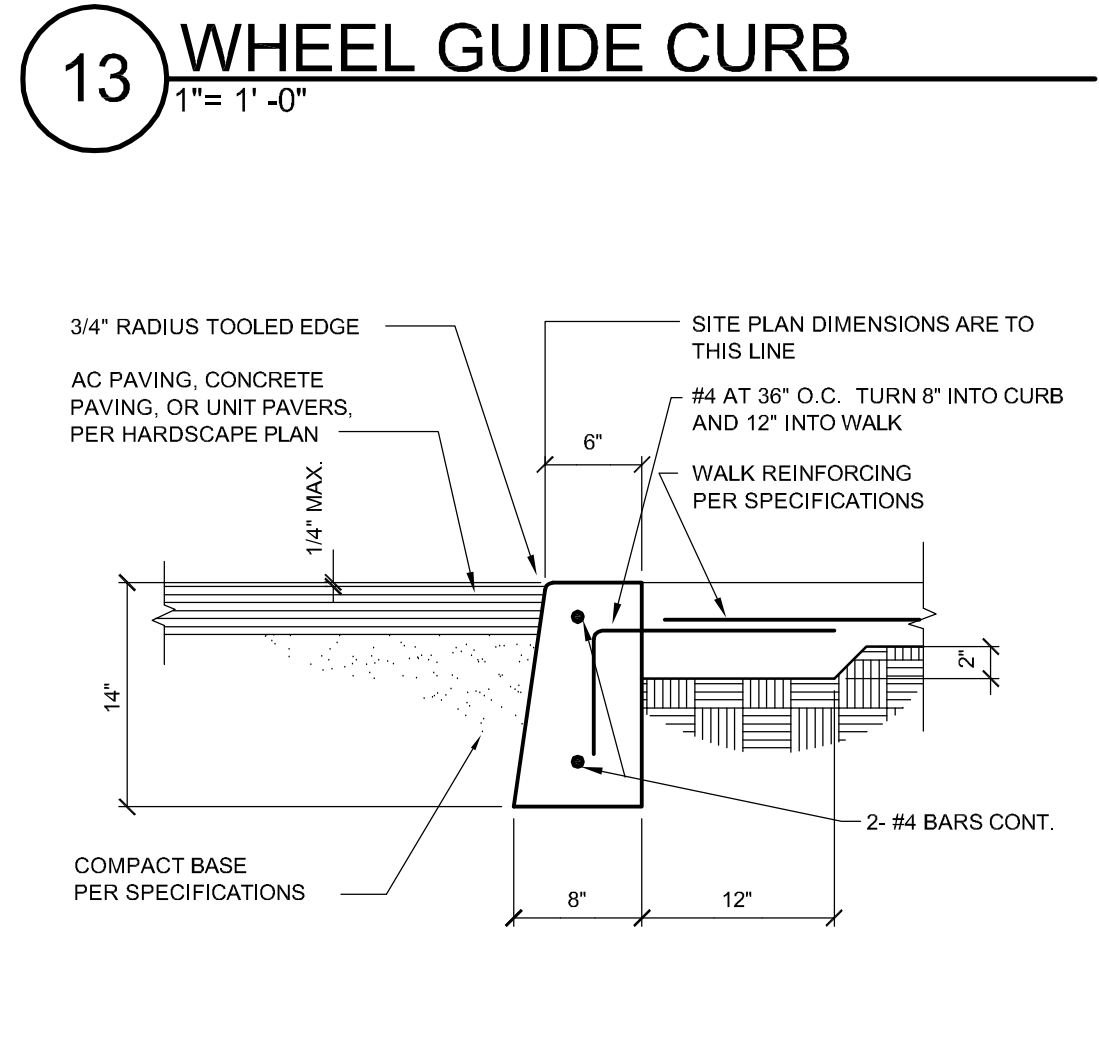
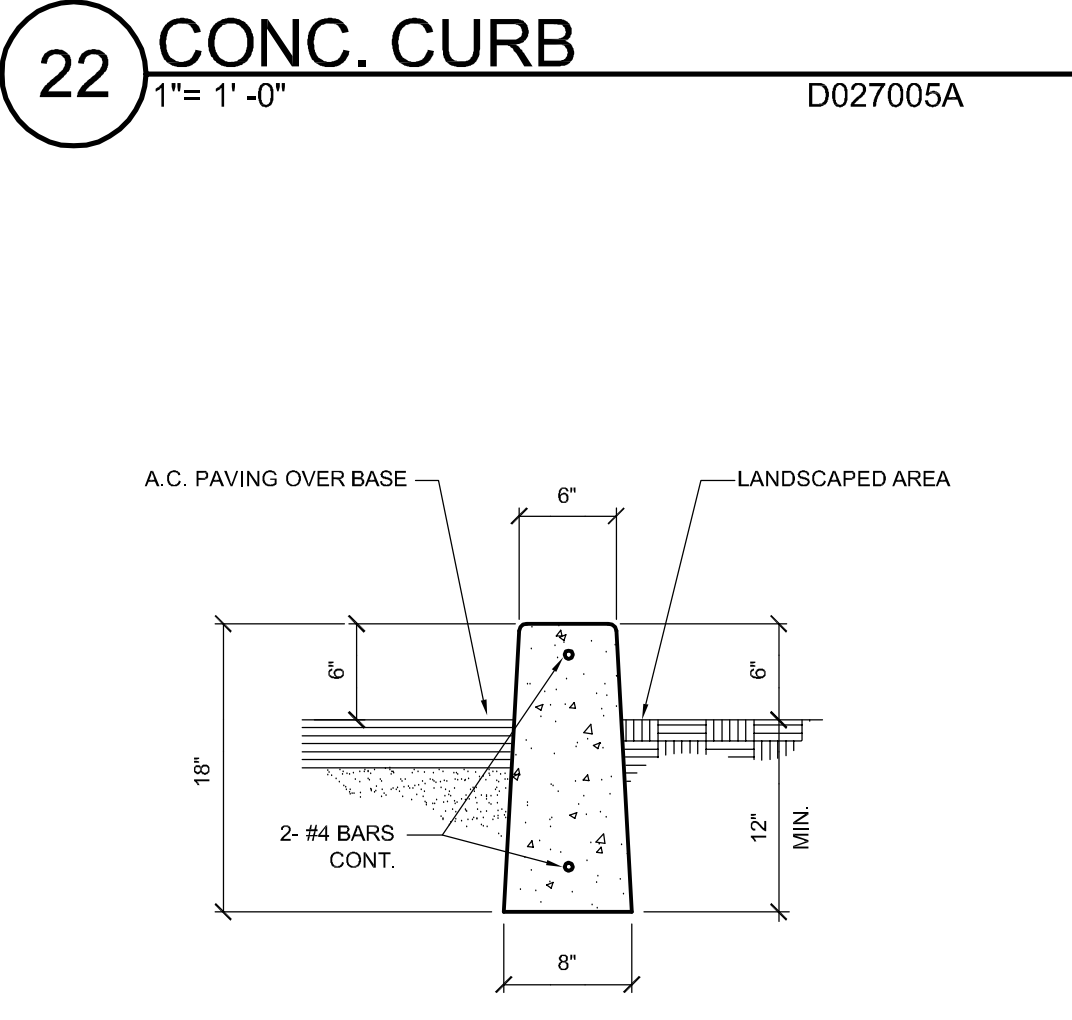
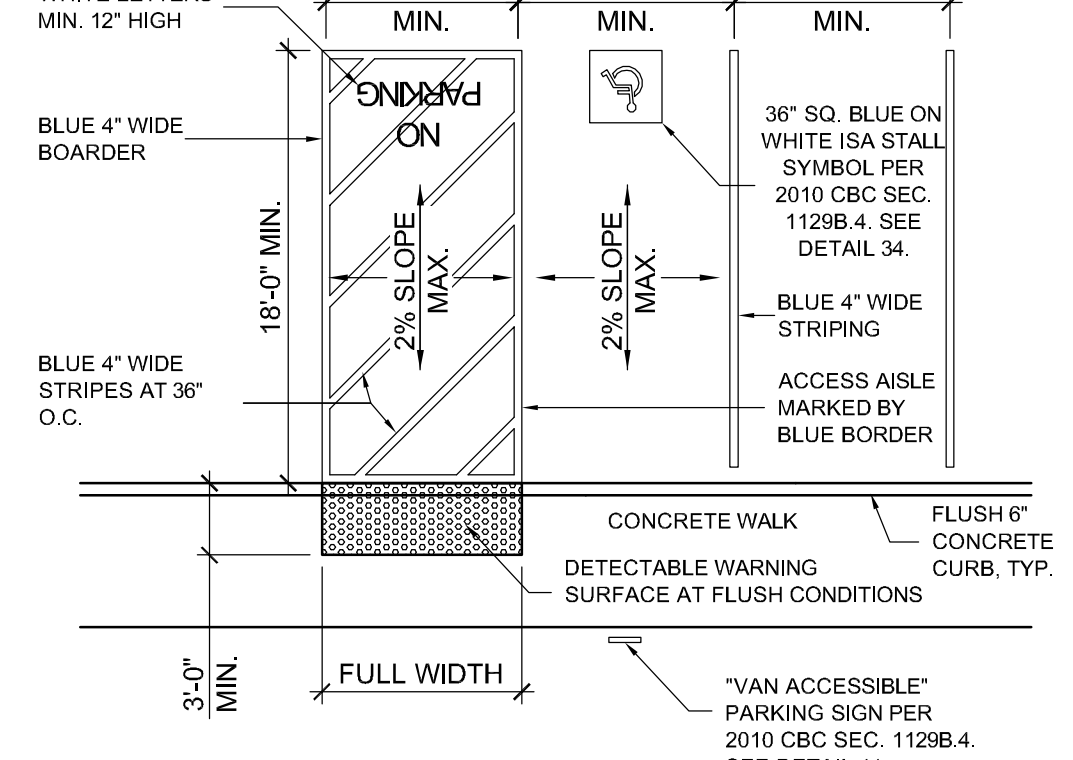
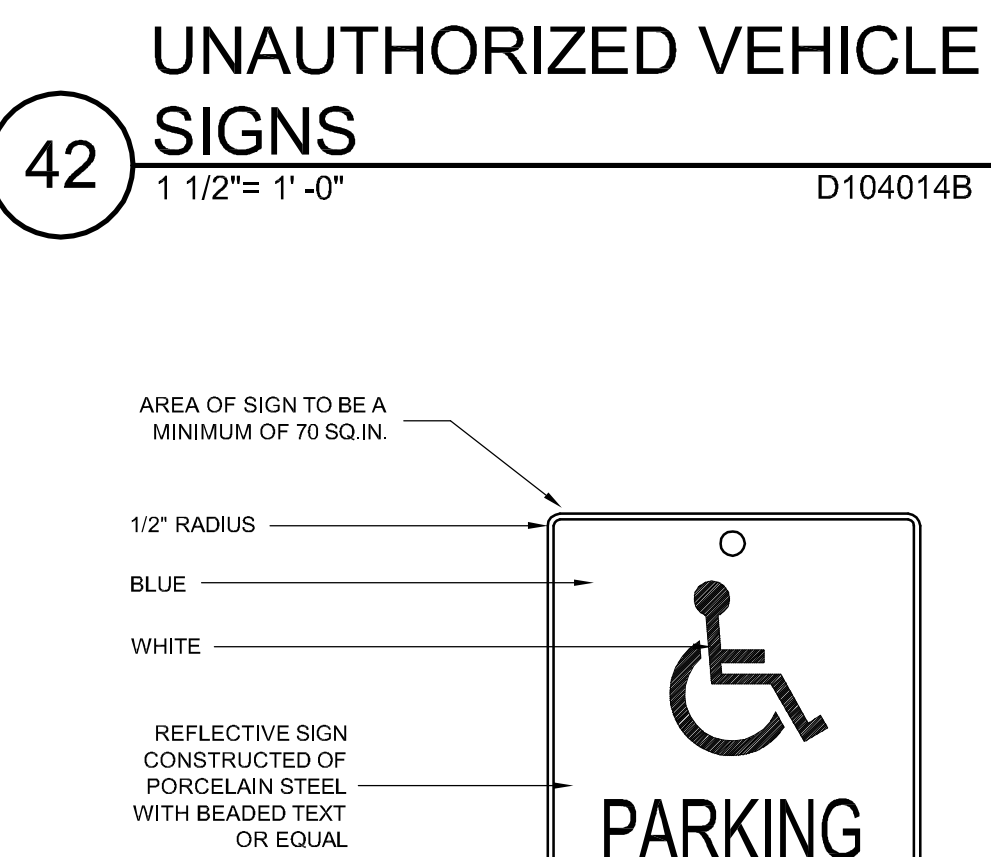
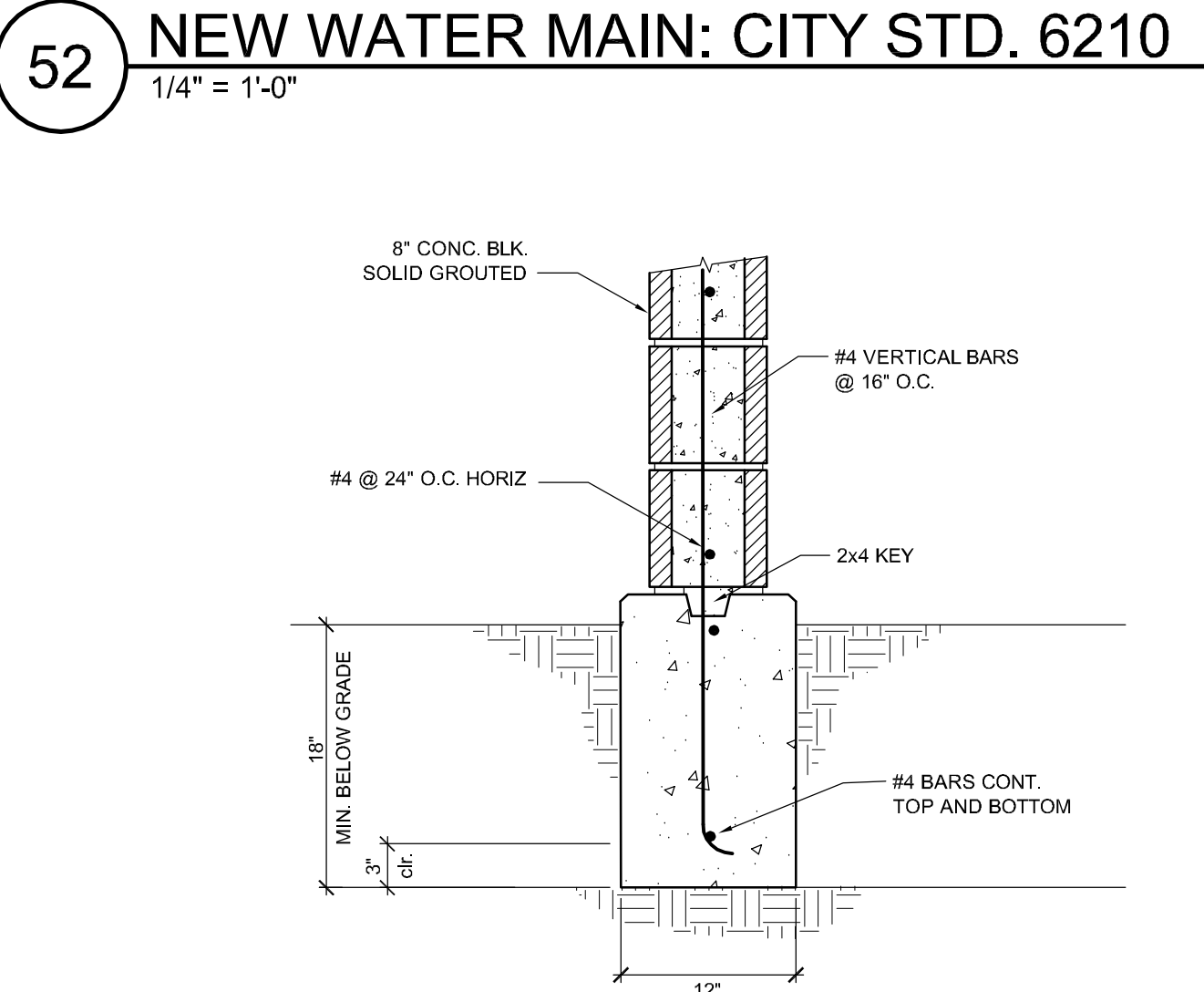
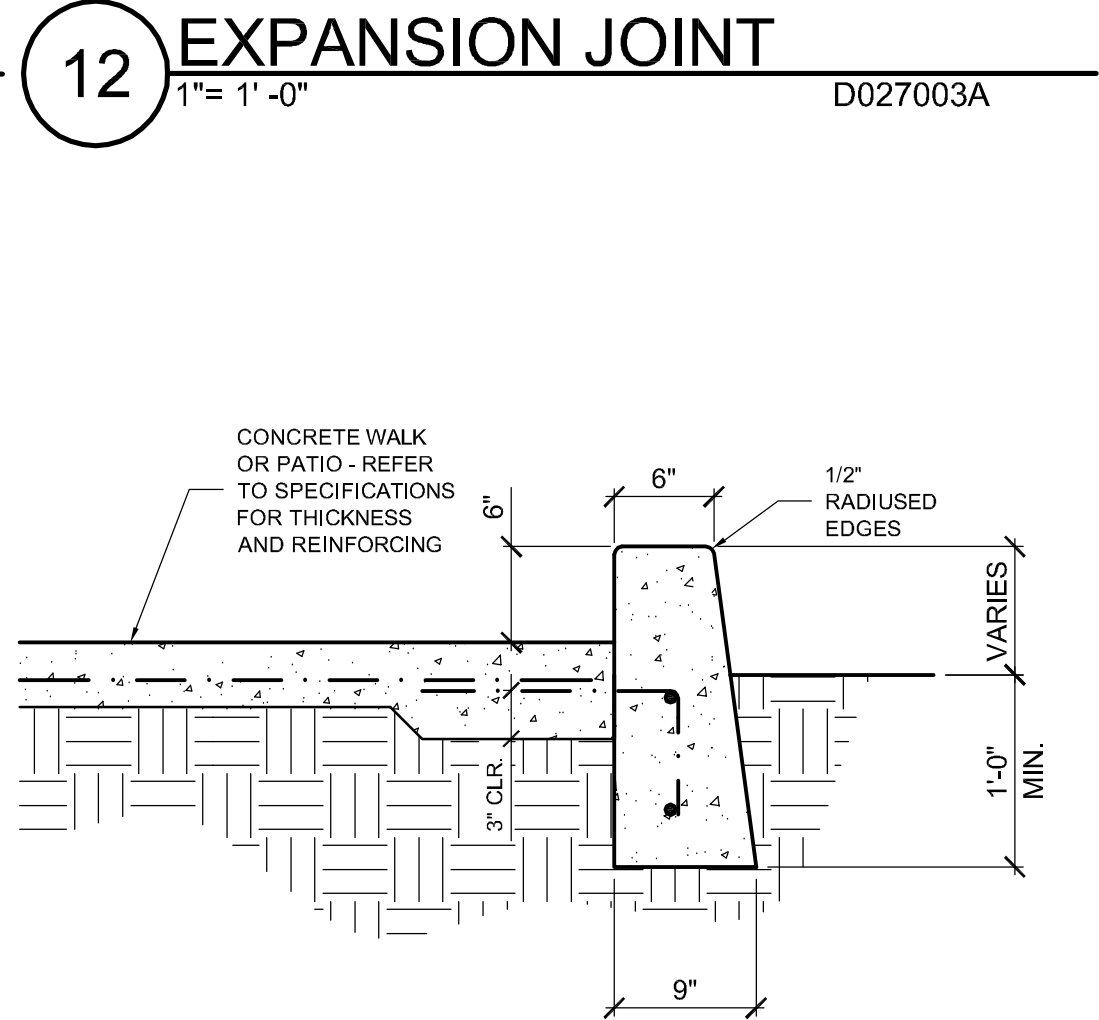
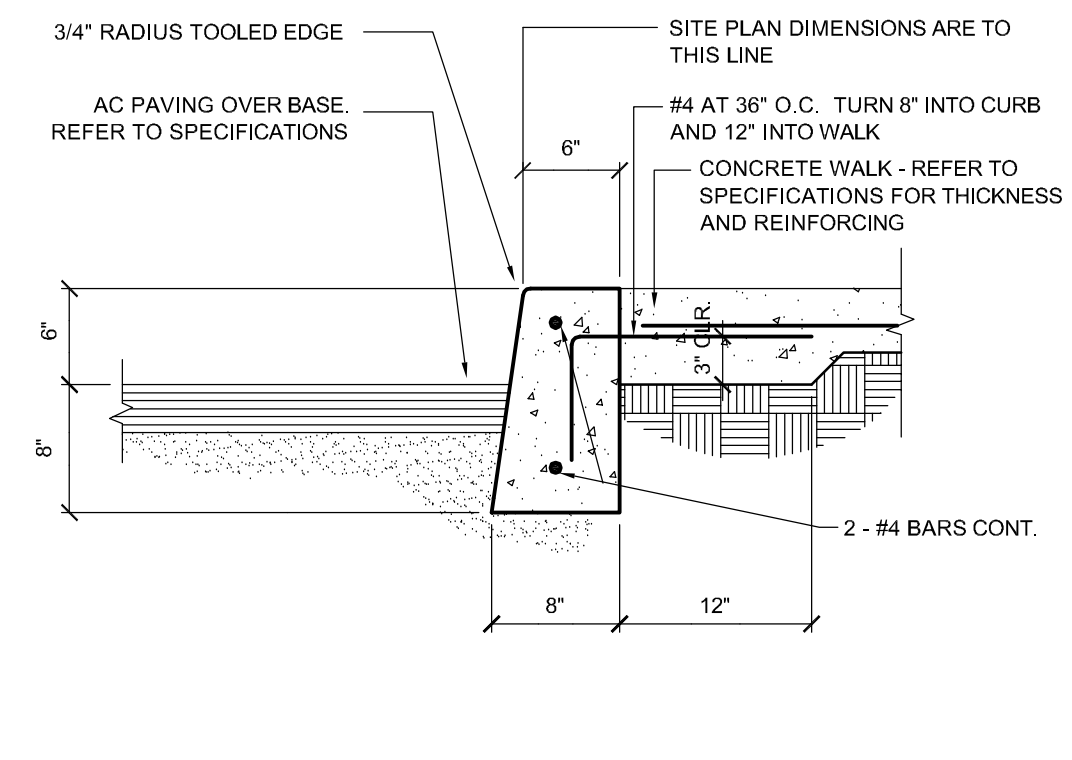
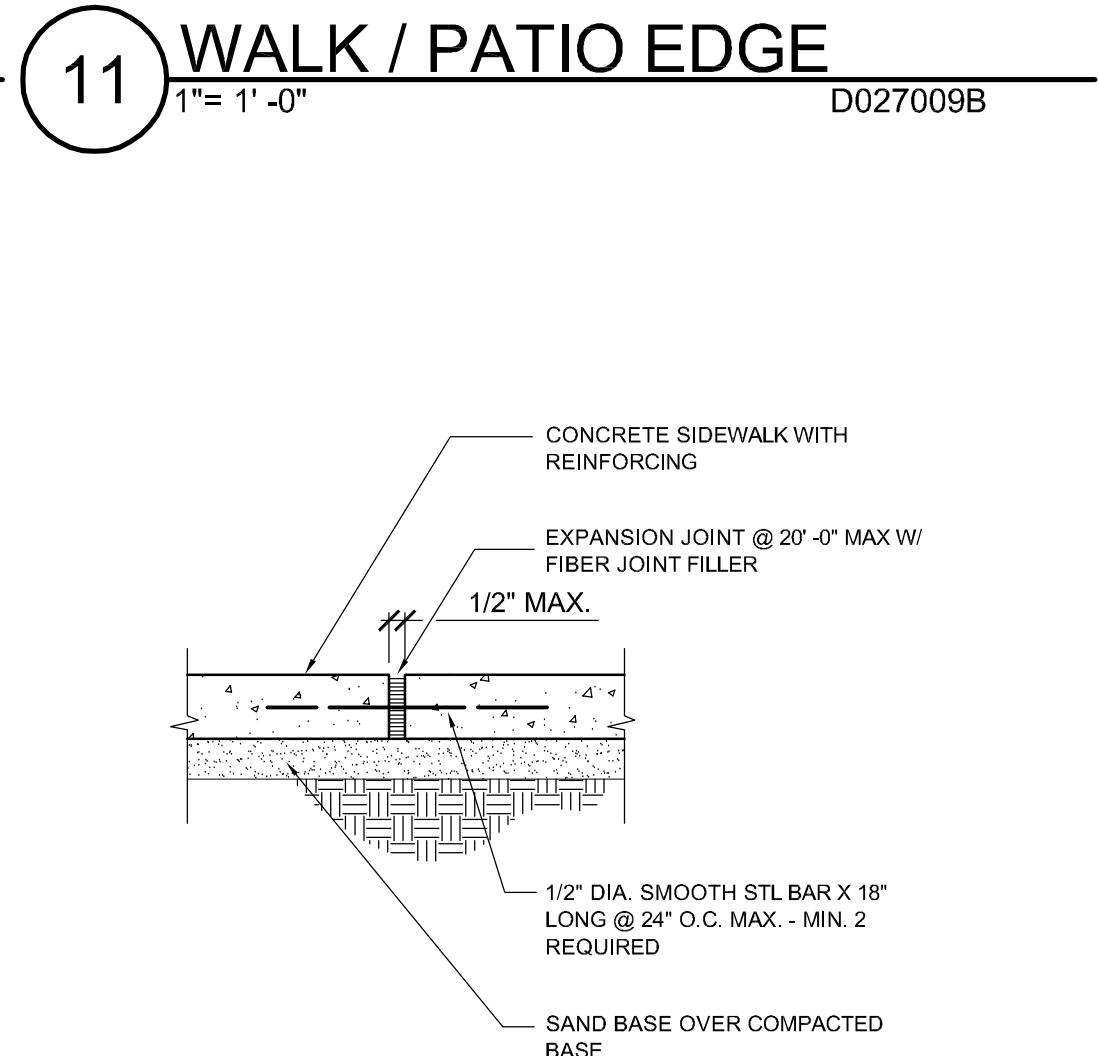
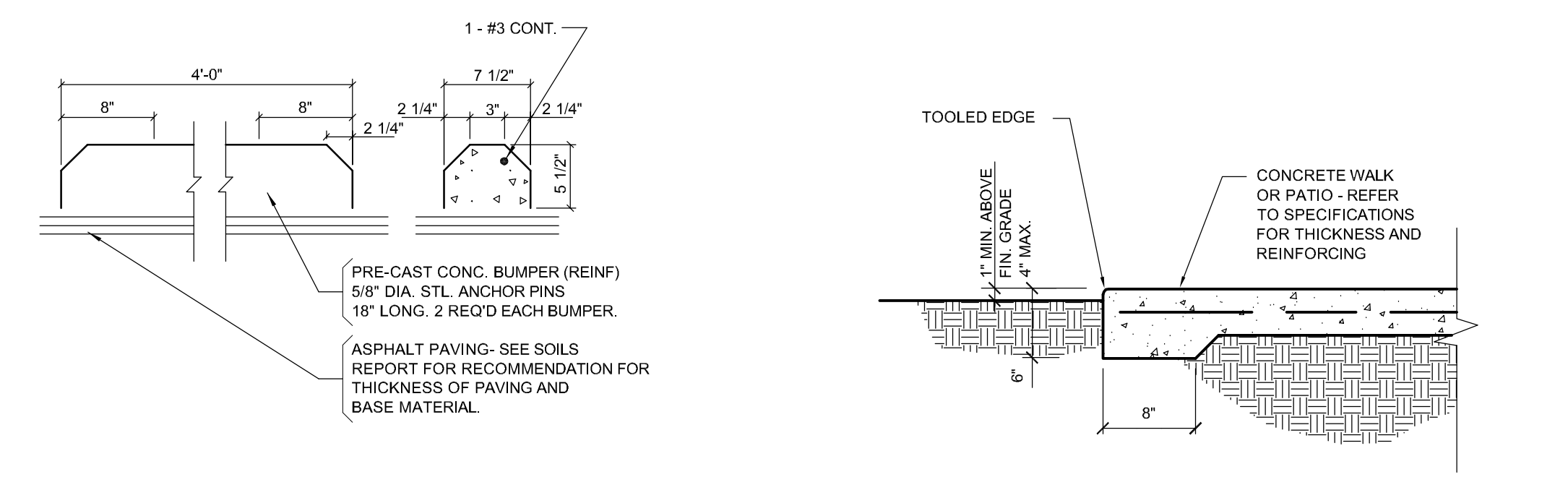
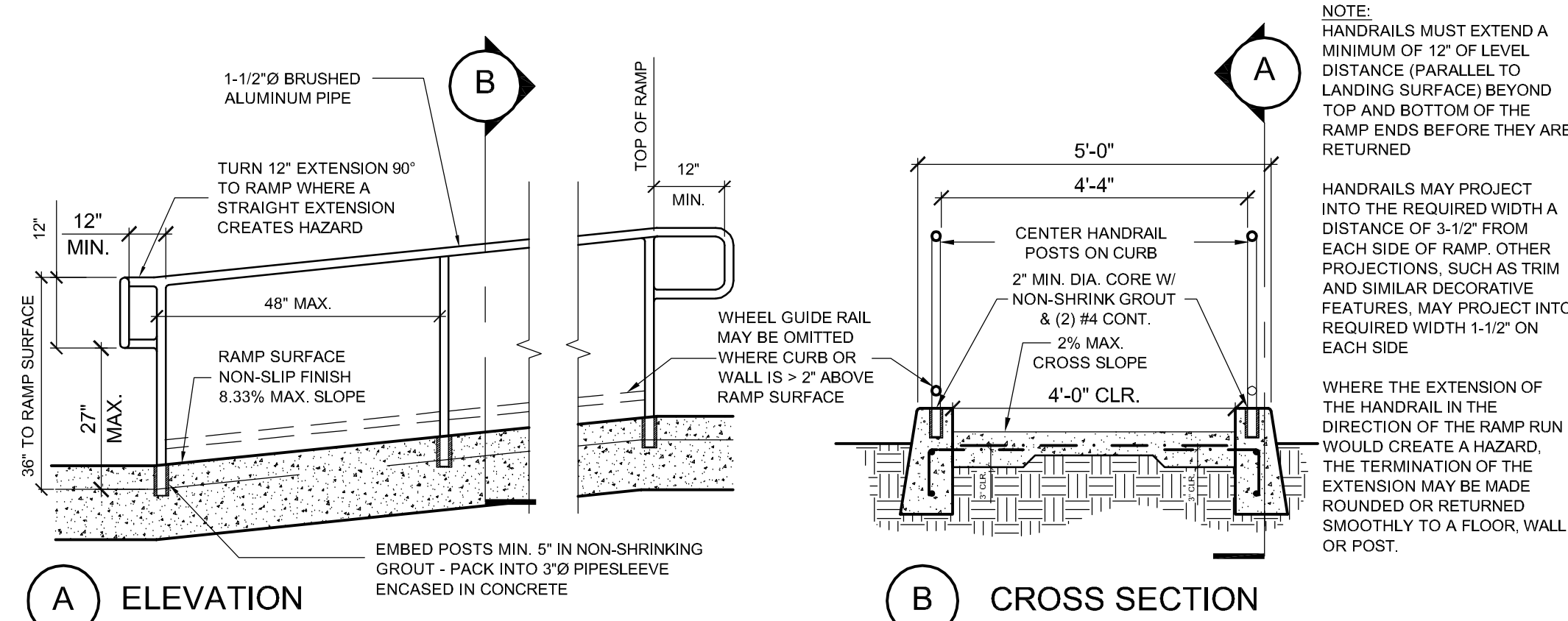
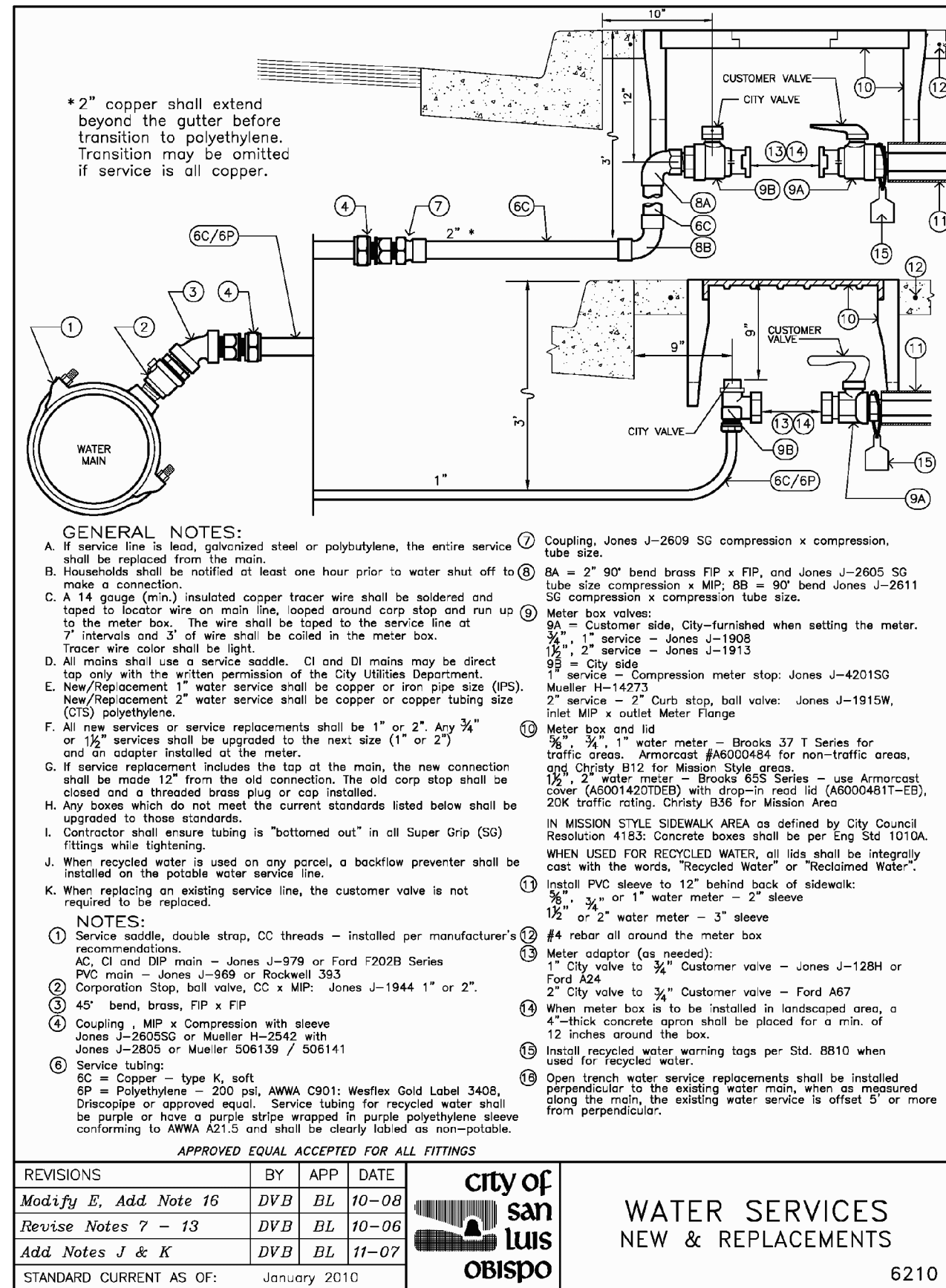
SHEET TITLE
SITE SECTIONS

SCALE: 1" = 1'-0"

SHEET #

A1.6

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PROJECT

MADONNA ROAD APARTMENTS

A RENOVATION AND UPGRADE PROJECT

1550 MADONNA ROAD
SAN LUIS OBISPO, CA

CLIENT JOB # ARCHITECT JOB #
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FRASER SEIPLE ARCHITECTS

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SAN LUIS OBISPO
CALIFORNIA 93401

805-544-6161

www.fraserseiplearchitects.com

PROJECT MANAGER BDF

DRAWN BY DDL

DATES 08-08-2012 1st SUBMITTAL
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10-05-2012 FOR CONSTRUCTION

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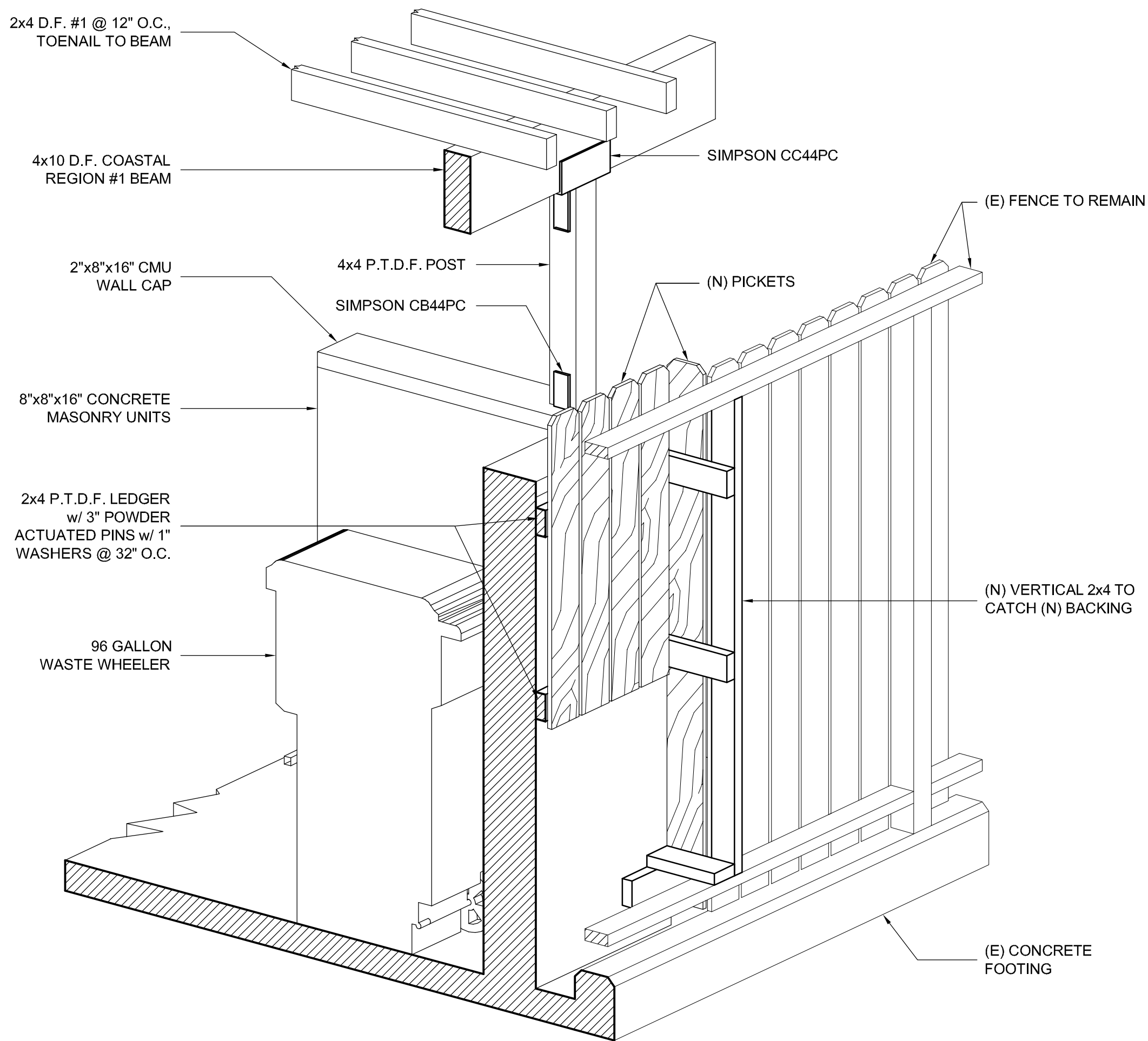
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C 9787
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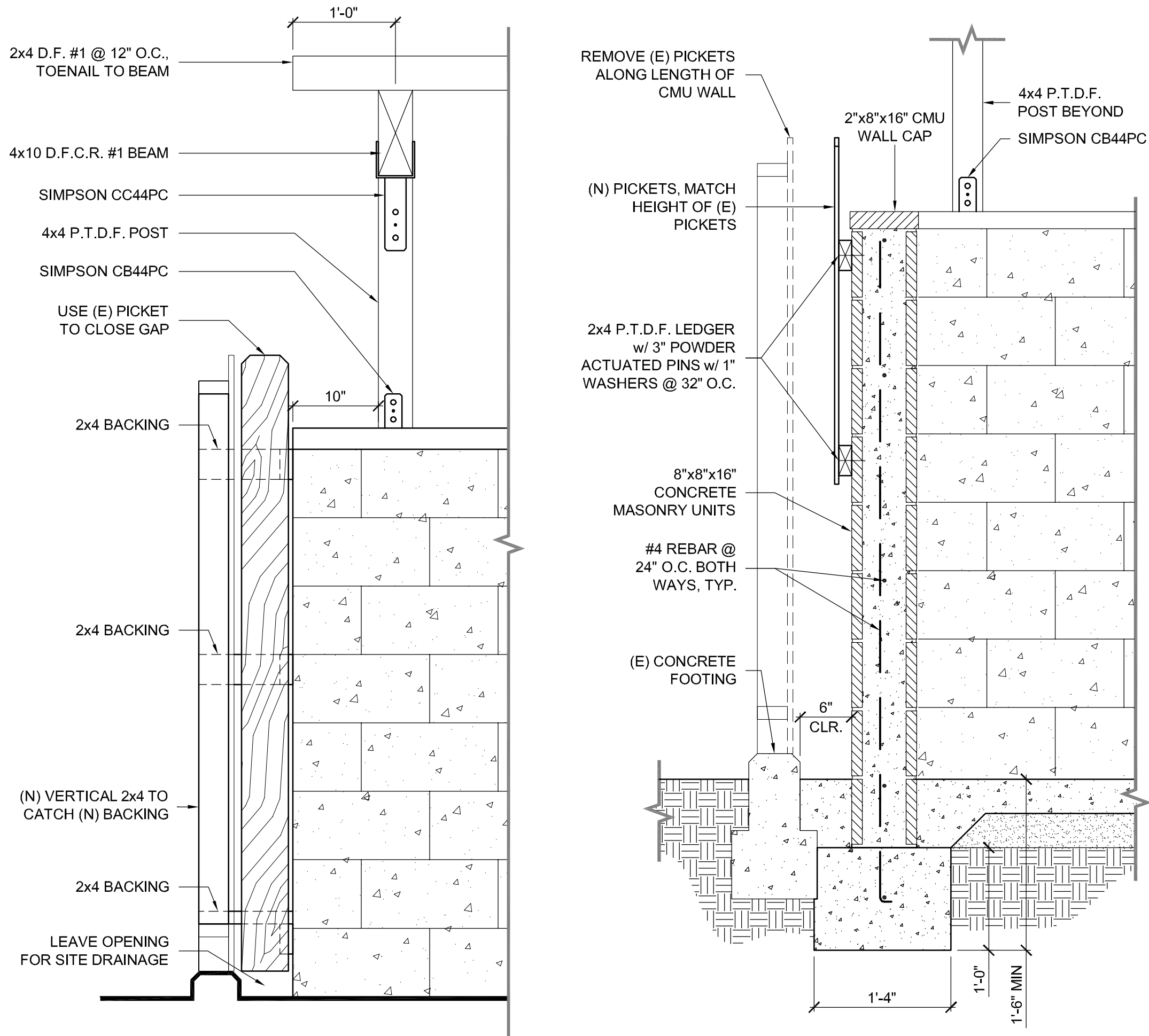
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SHEET TITLE
SITE DETAILS

SHEET #
A1.7

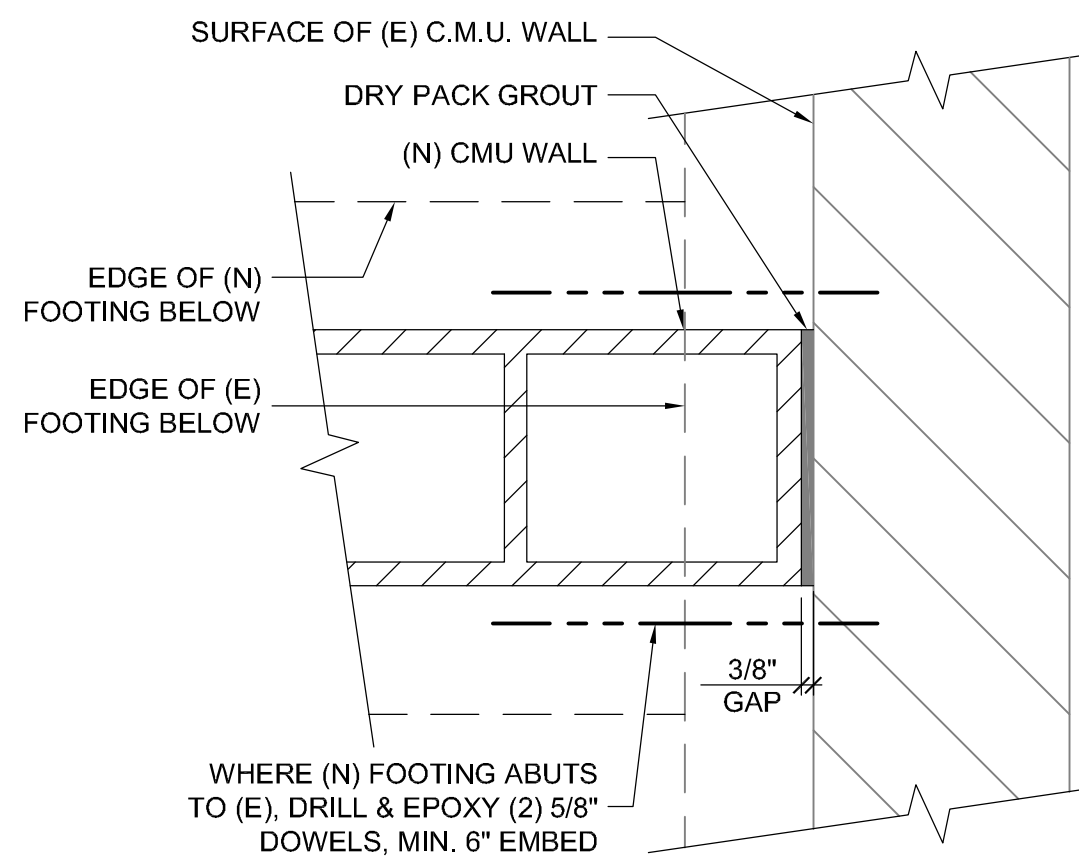


52 TRASH ENCLOSURE WALL AT EXISTING WOOD FENCE
1" = 1' - 0"

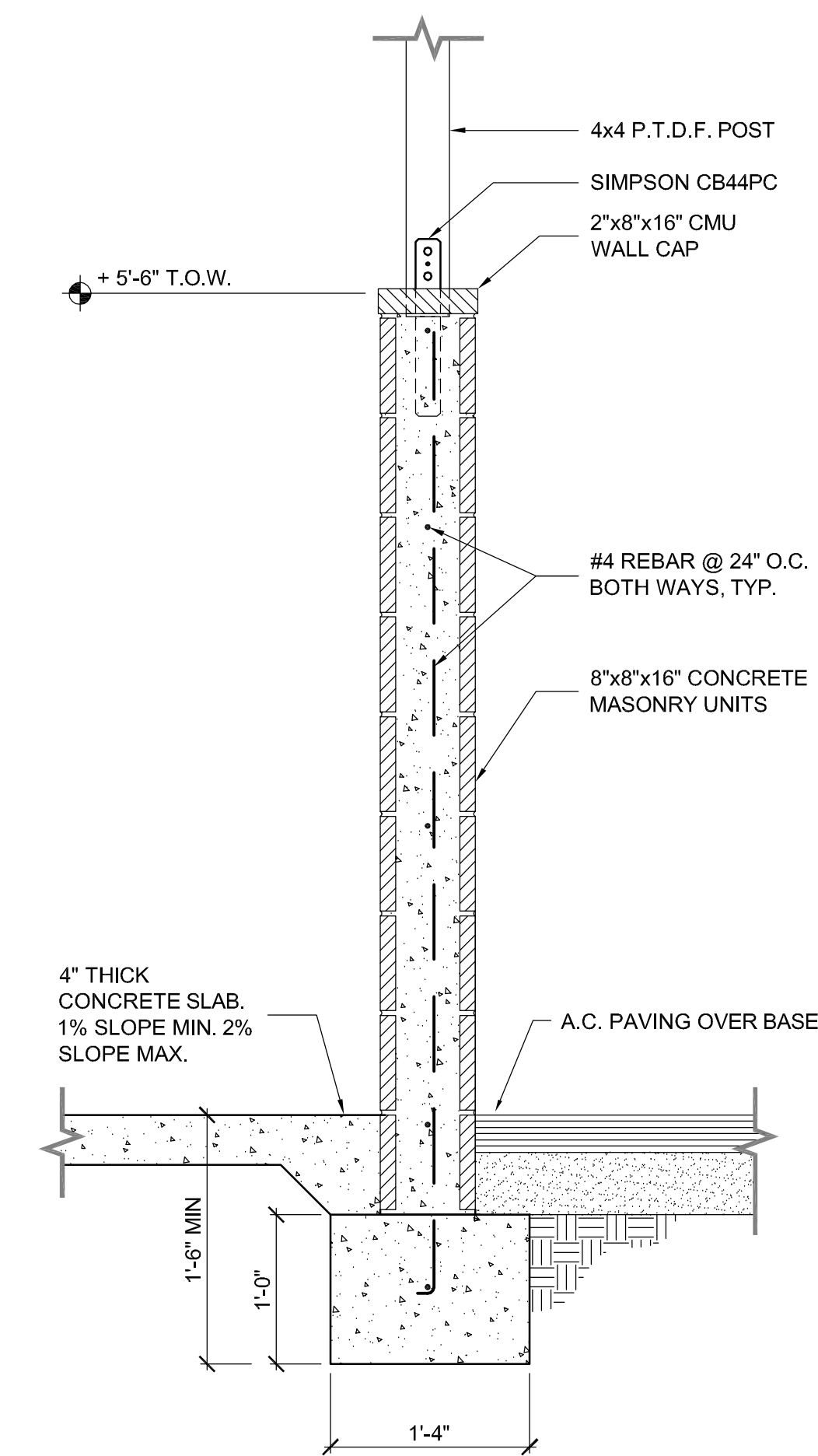


54 (N) CMU WALL @ (E) FENCE
1" = 1' - 0"

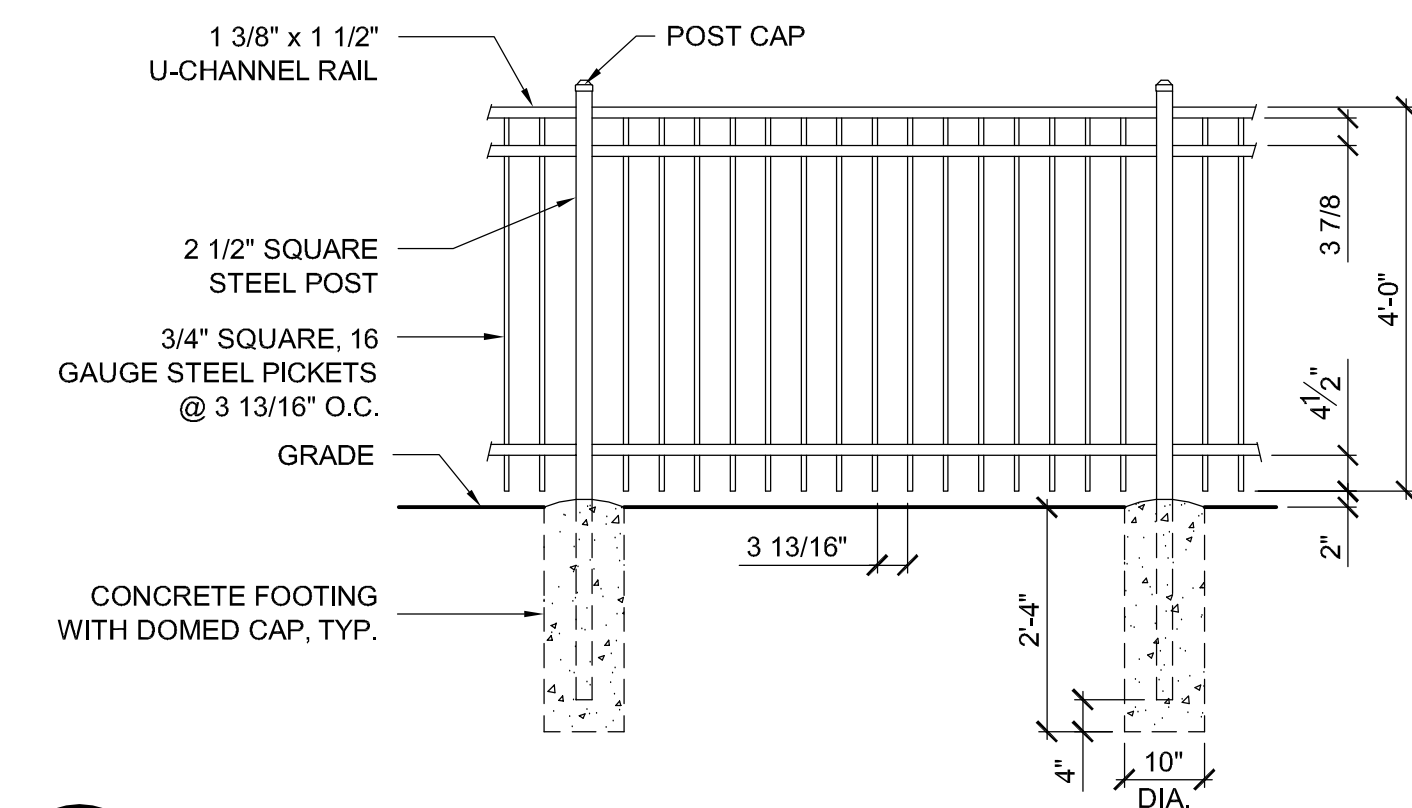
44 (N) CMU WALL @ (E) FENCE
1" = 1' - 0"



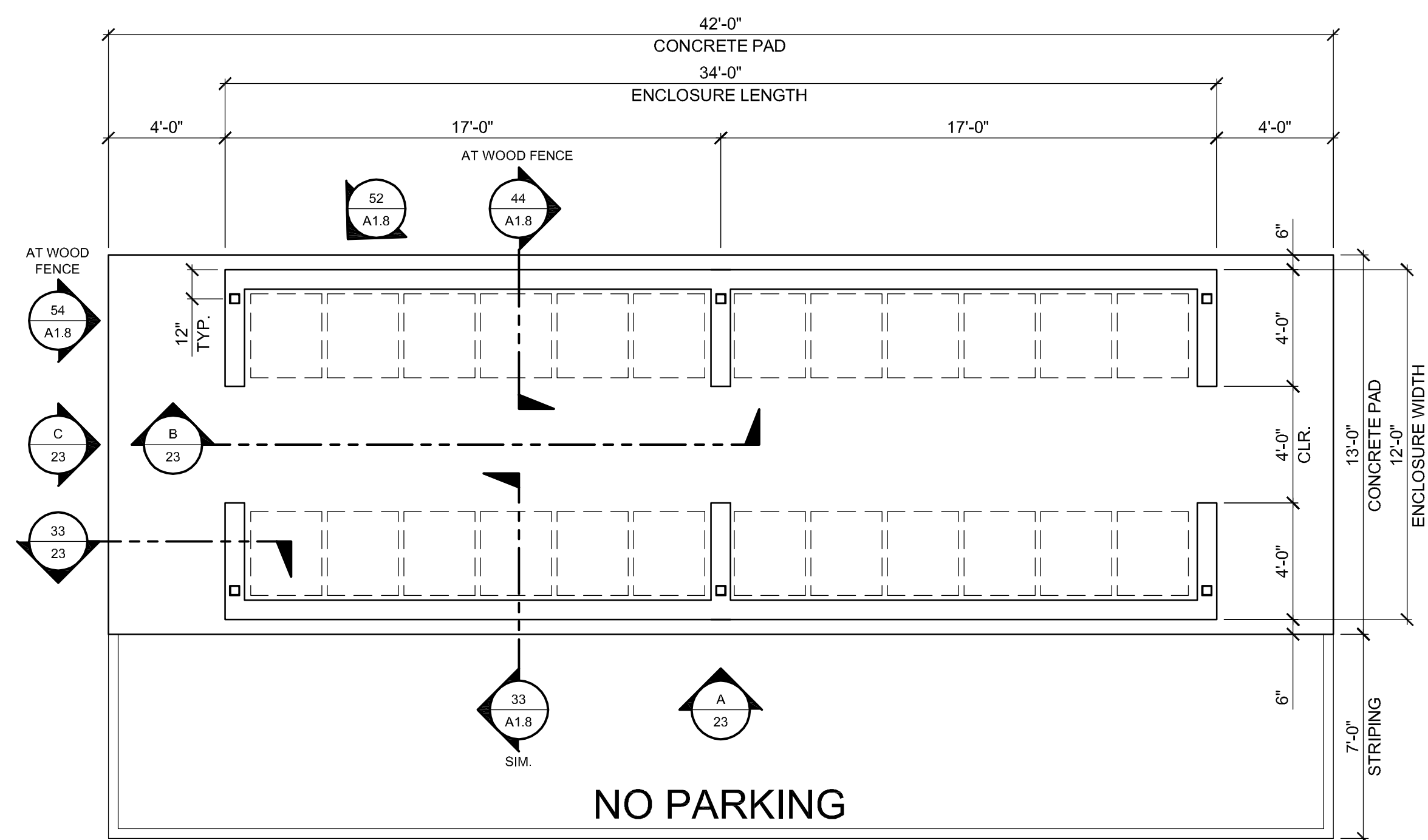
31 (N) CMU WALL @ (E) CMU
2" = 1' - 0"



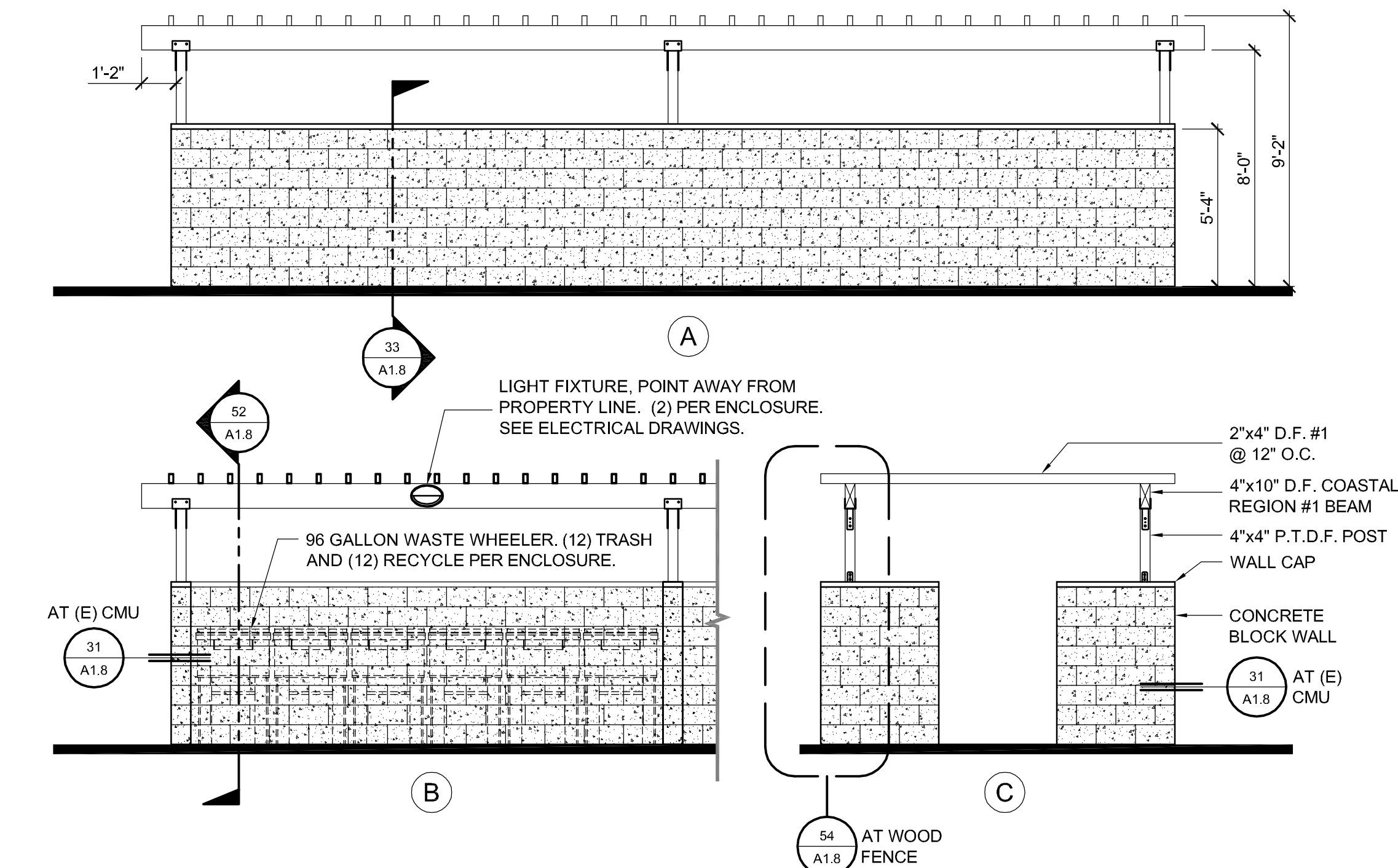
33 TRASH ENCLOSURE WALL
1" = 1' - 0"



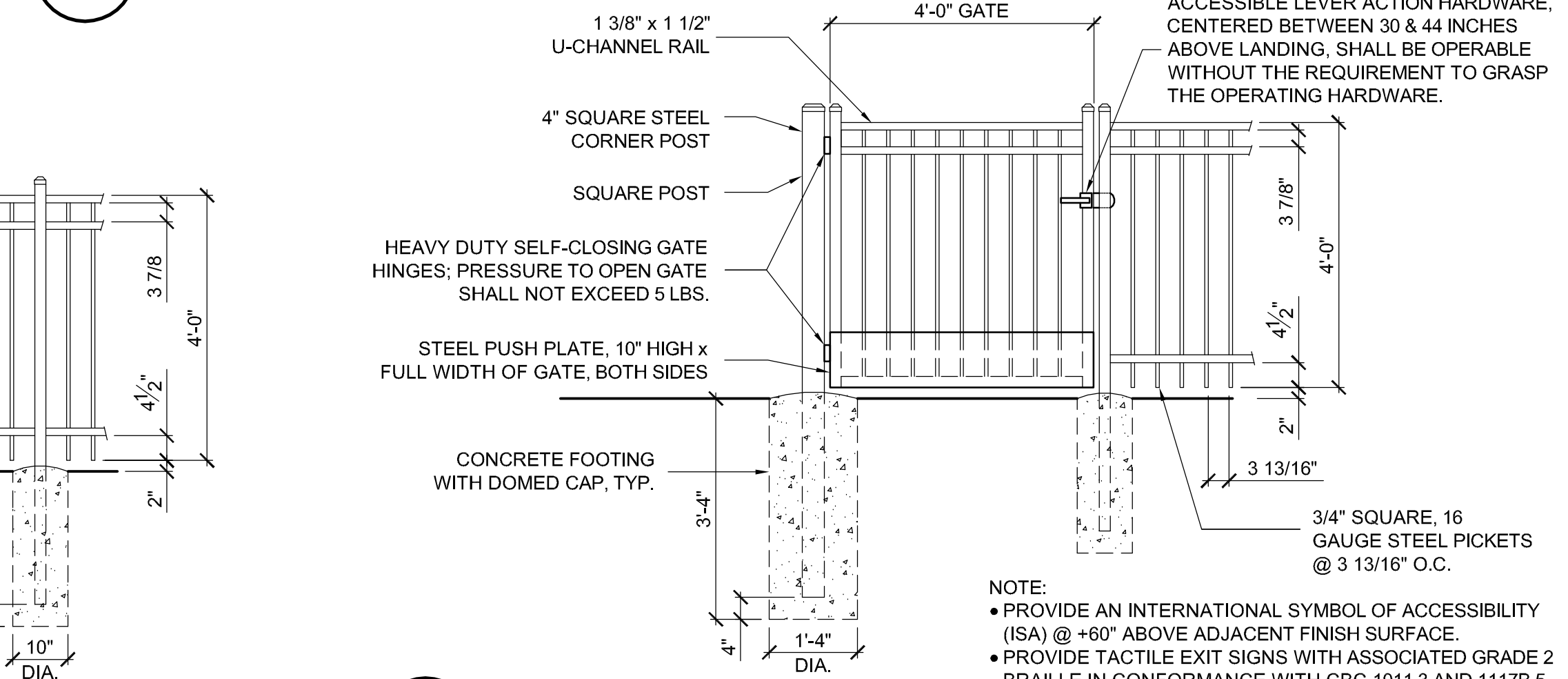
34 DECORATIVE FENCE PANEL
1/4" = 1' - 0"



22 TRASH ENCLOSURE PLAN
1/4" = 1' - 0"



23 TRASH ENCLOSURE ELEVATIONS
1/4" = 1' - 0"



24 DECORATIVE GATE
1/4" = 1' - 0"

NOTE:
• PROVIDE AN INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) @ +60" ABOVE ADJACENT FINISH SURFACE.
• PROVIDE TACTILE EXIT SIGNS WITH ASSOCIATED GRADE 2 BRAILLE IN CONFORMANCE WITH CBC 1011.3 AND 1117B.5.

PROJECT

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A RENOVATION AND UPGRADE PROJECT

1550 MADONNA ROAD
SAN LUIS OBISPO, CA

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971 OSOS STREET
SAN LUIS OBISPO
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805-544-6161

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PROJECT MANAGER BDF

DRAWN BY DDL

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09-19-2012 1st RE-SUBMITTAL
10-05-2012 FOR CONSTRUCTION

SIGNED

BRUCE DOUGLAS FRASER
C 9787
EXPIRES 12/31/14
STATE OF CALIFORNIA

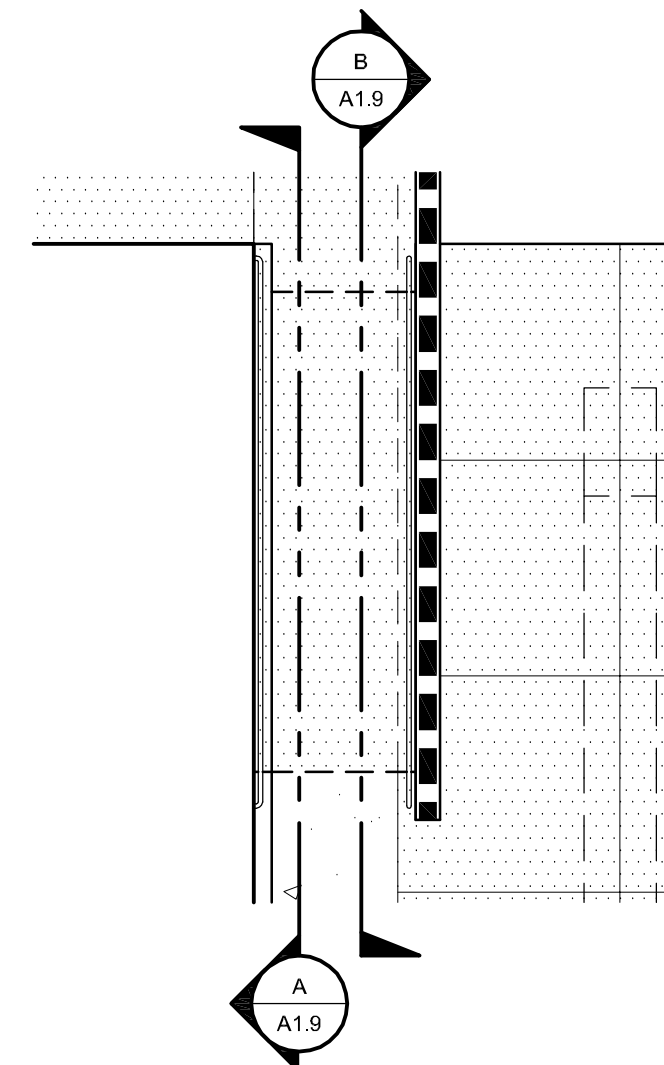
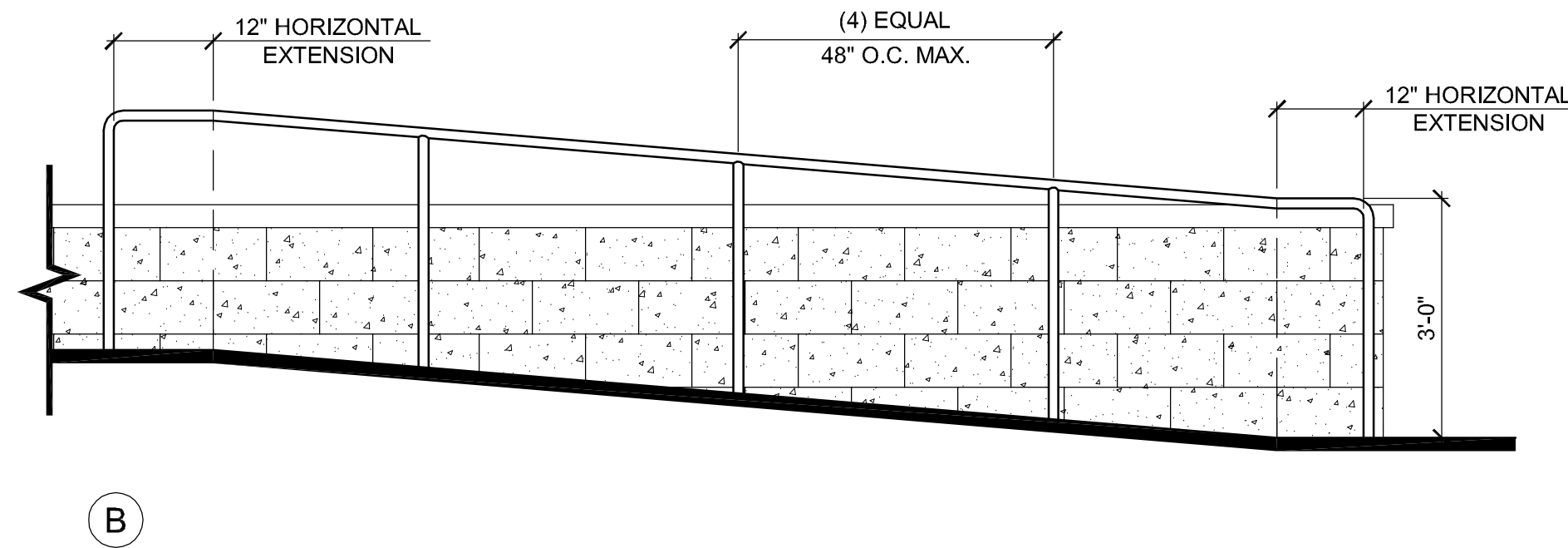
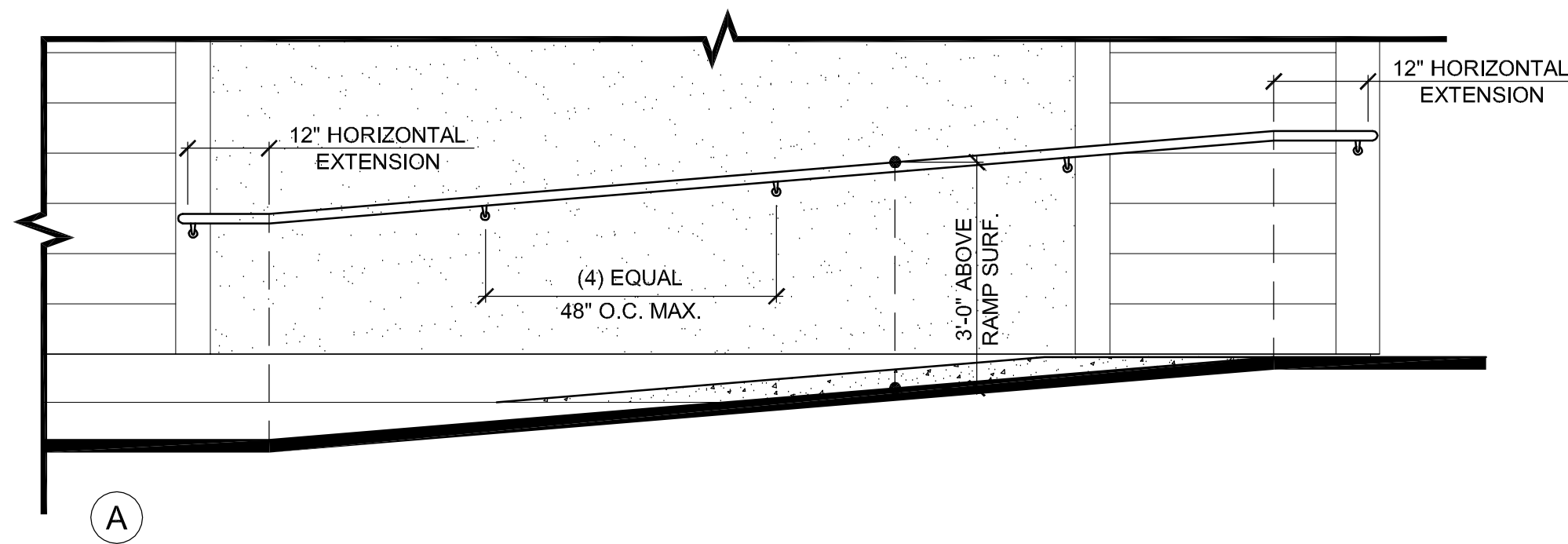
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SHEET TITLE
SITE DETAILS

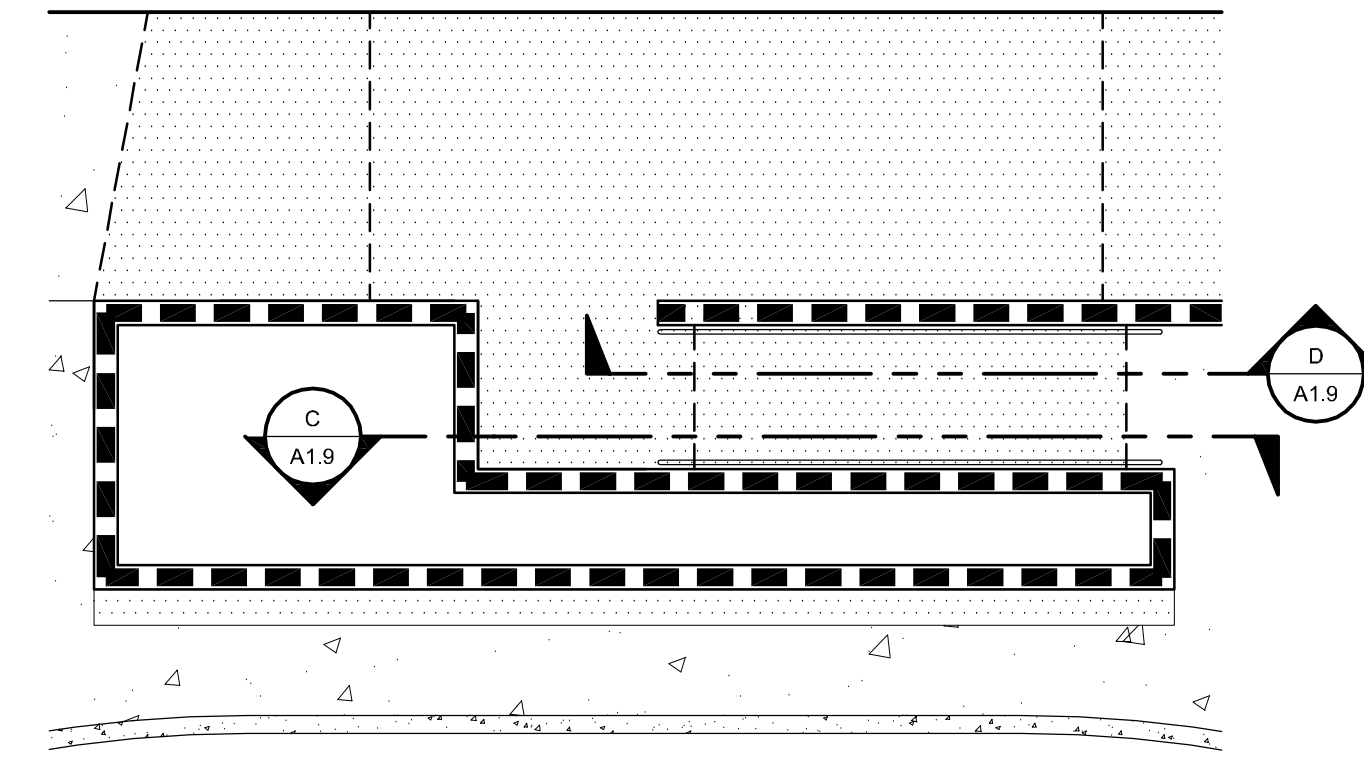
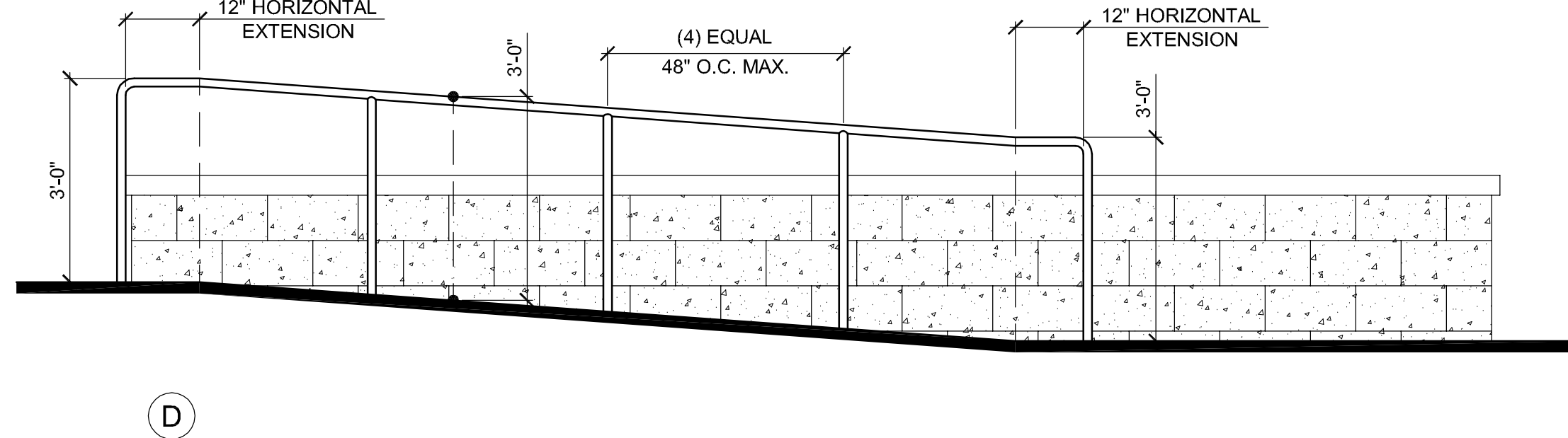
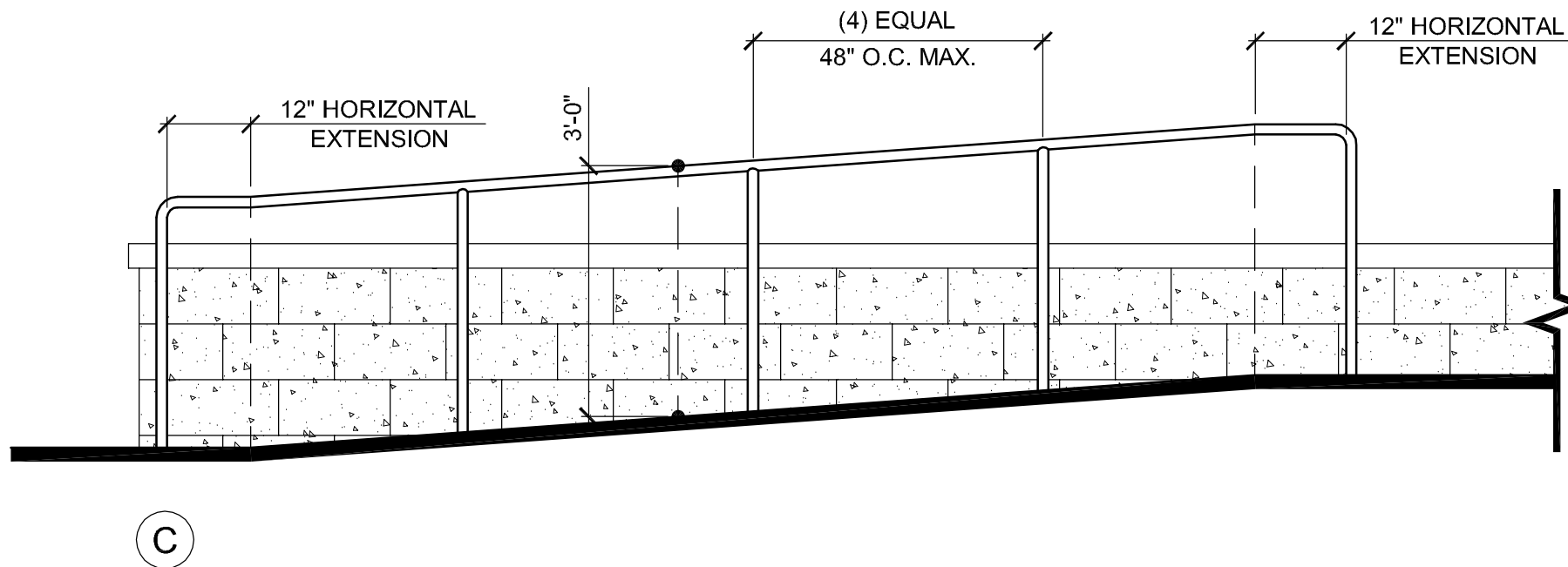
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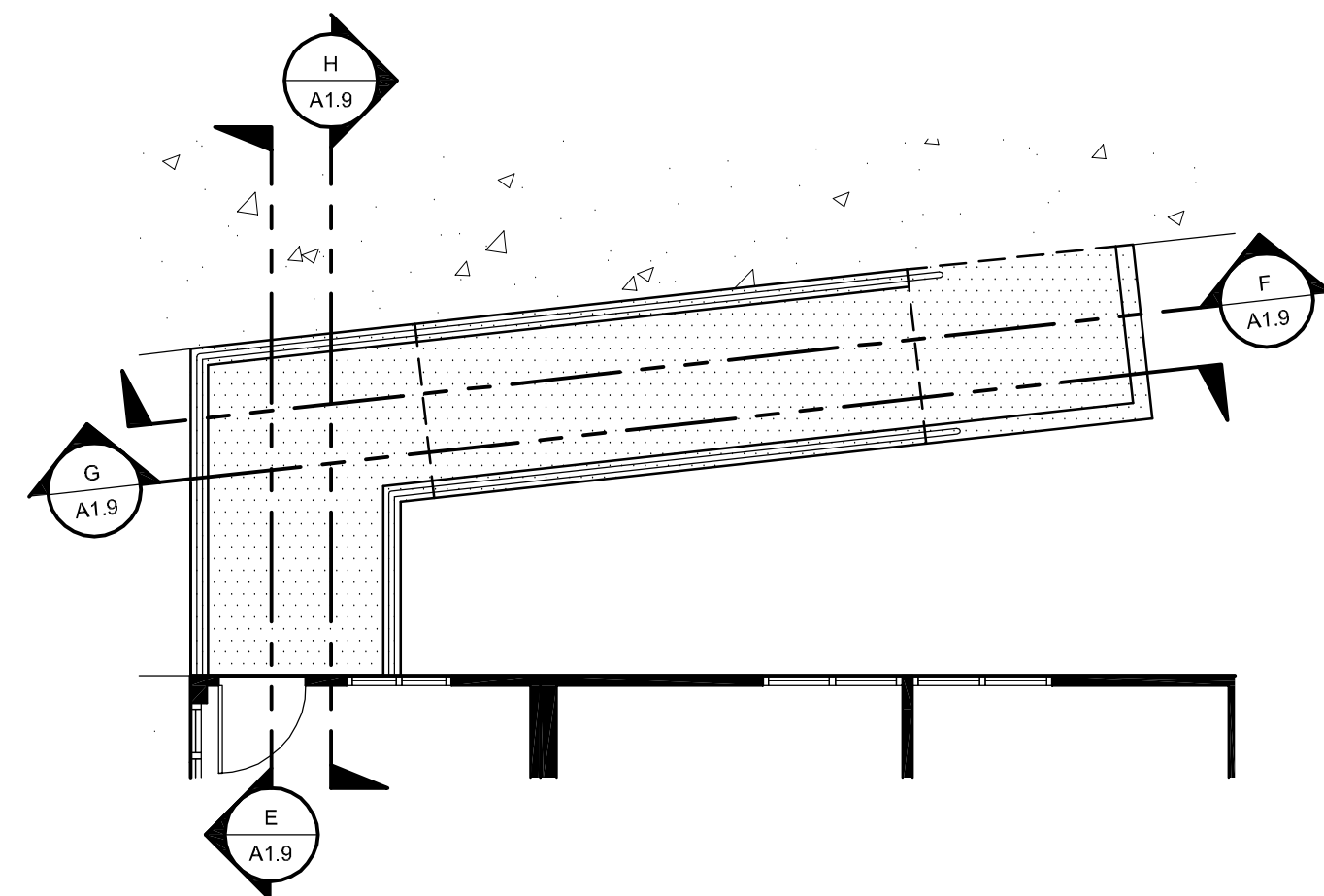
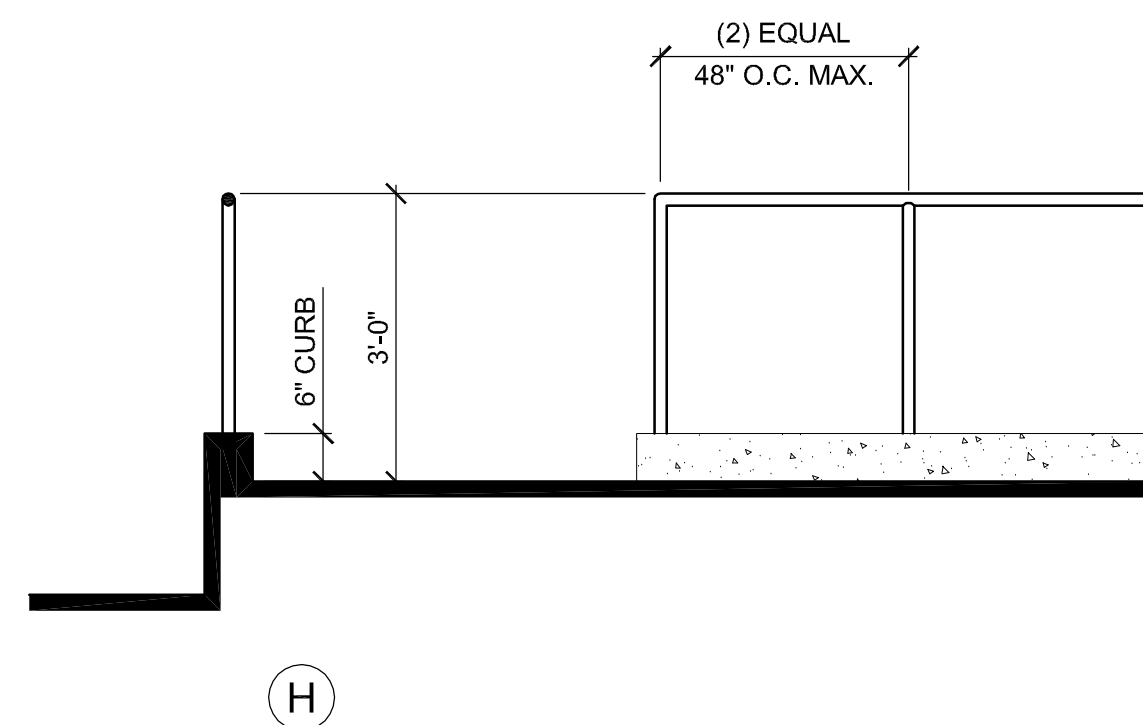
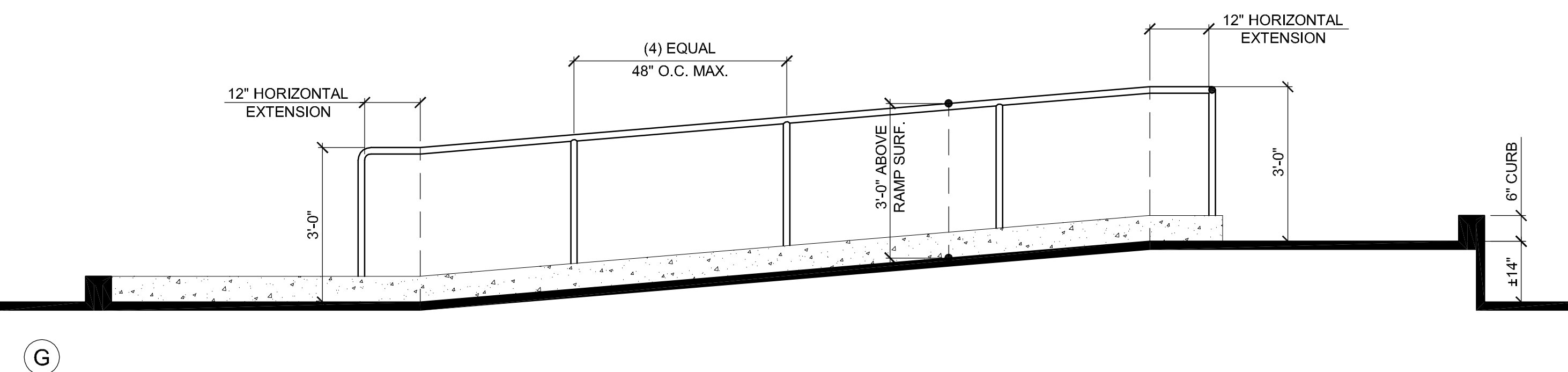
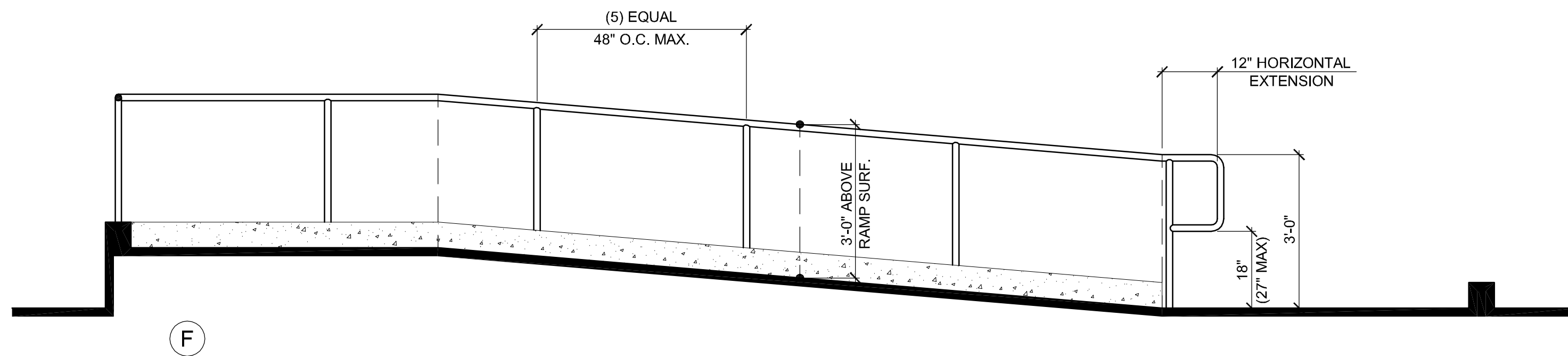
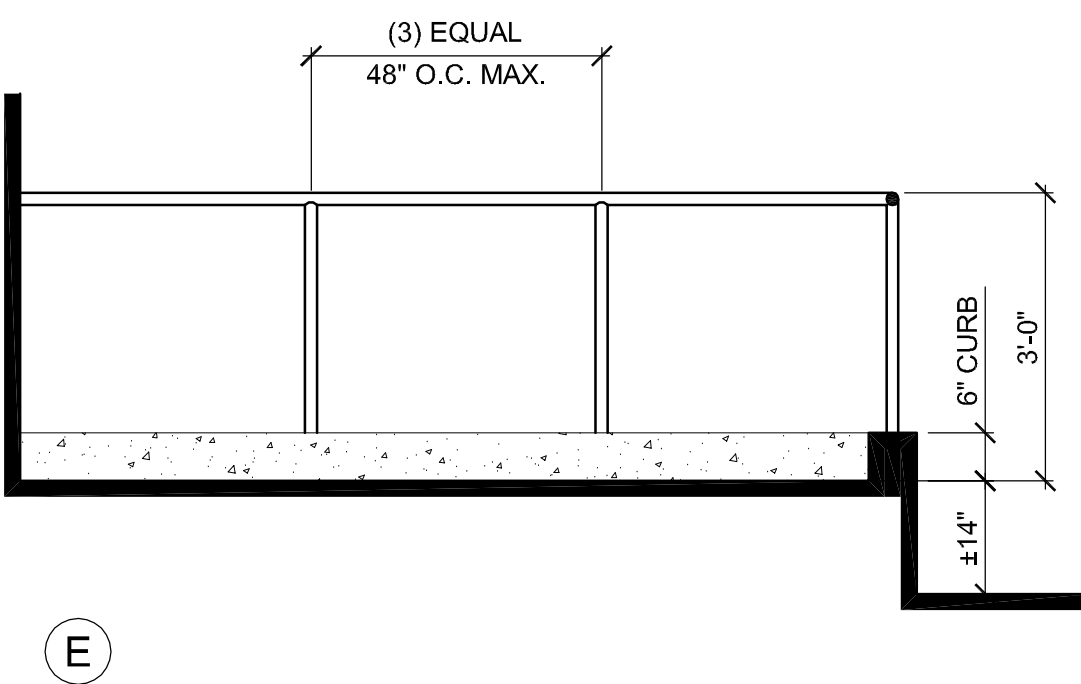
51 HANDRAIL ELEVATIONS AT MAILBOXES
1/2" = 1'-0"

KEY PLAN
3/16" = 1'-0"



52 HANDRAIL ELEVATIONS AT ENTRY TO COMMON BUILDING
1/2" = 1'-0"

KEY PLAN
3/16" = 1'-0"



53 HANDRAIL ELEVATIONS AT LAUNDRY ROOM #1
1/2" = 1'-0"

KEY PLAN
3/16" = 1'-0"

PROJECT

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SAN LUIS OBISPO, CA

CLIENT JOB #

ARCHITECT JOB #

1207

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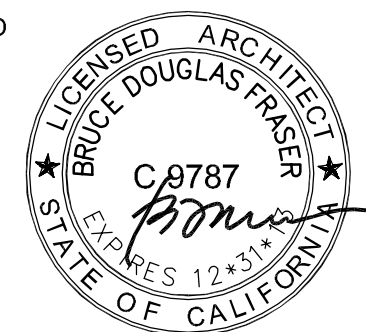
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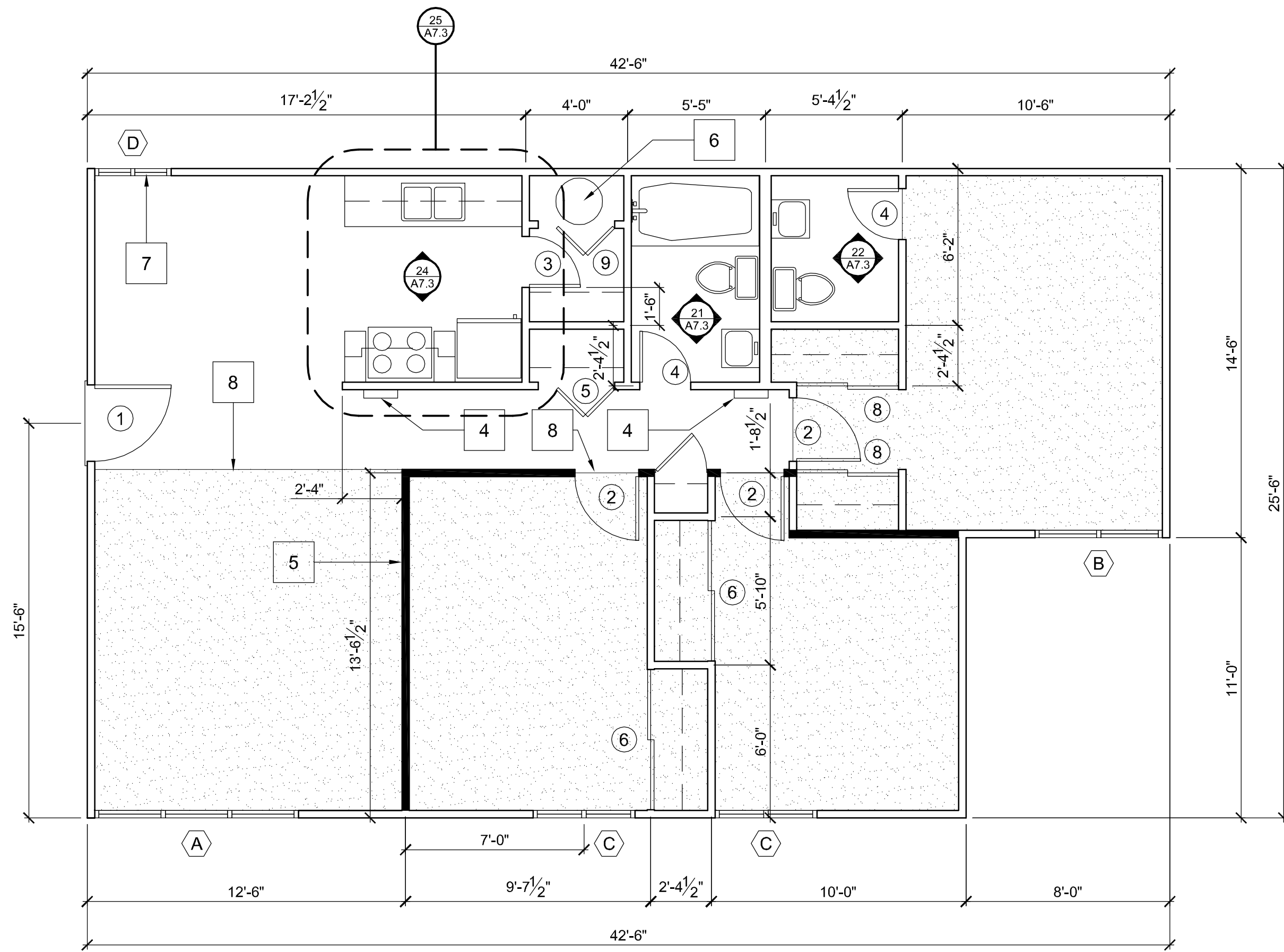
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SHEET TITLE
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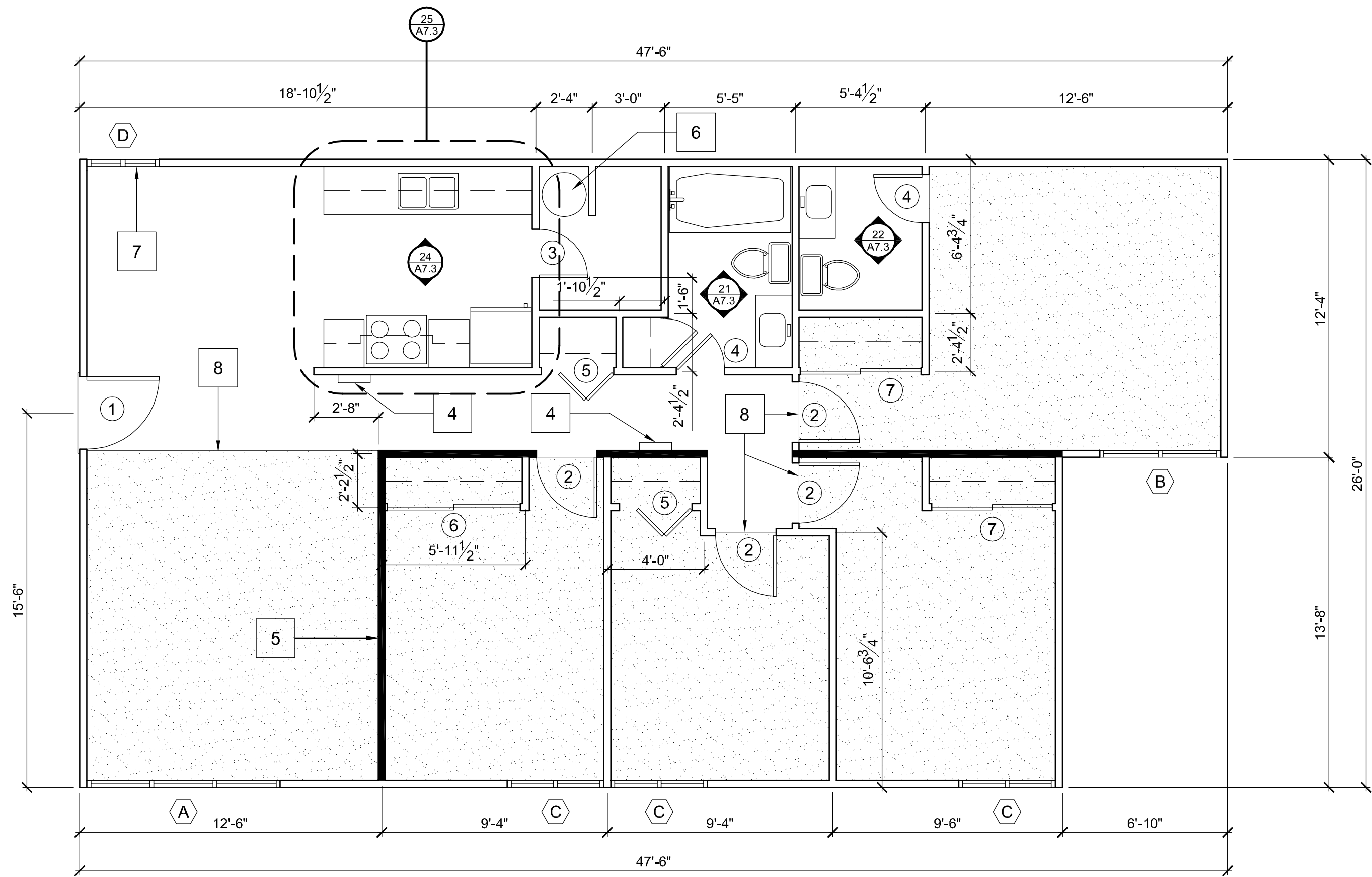
SHEET #

A1.9

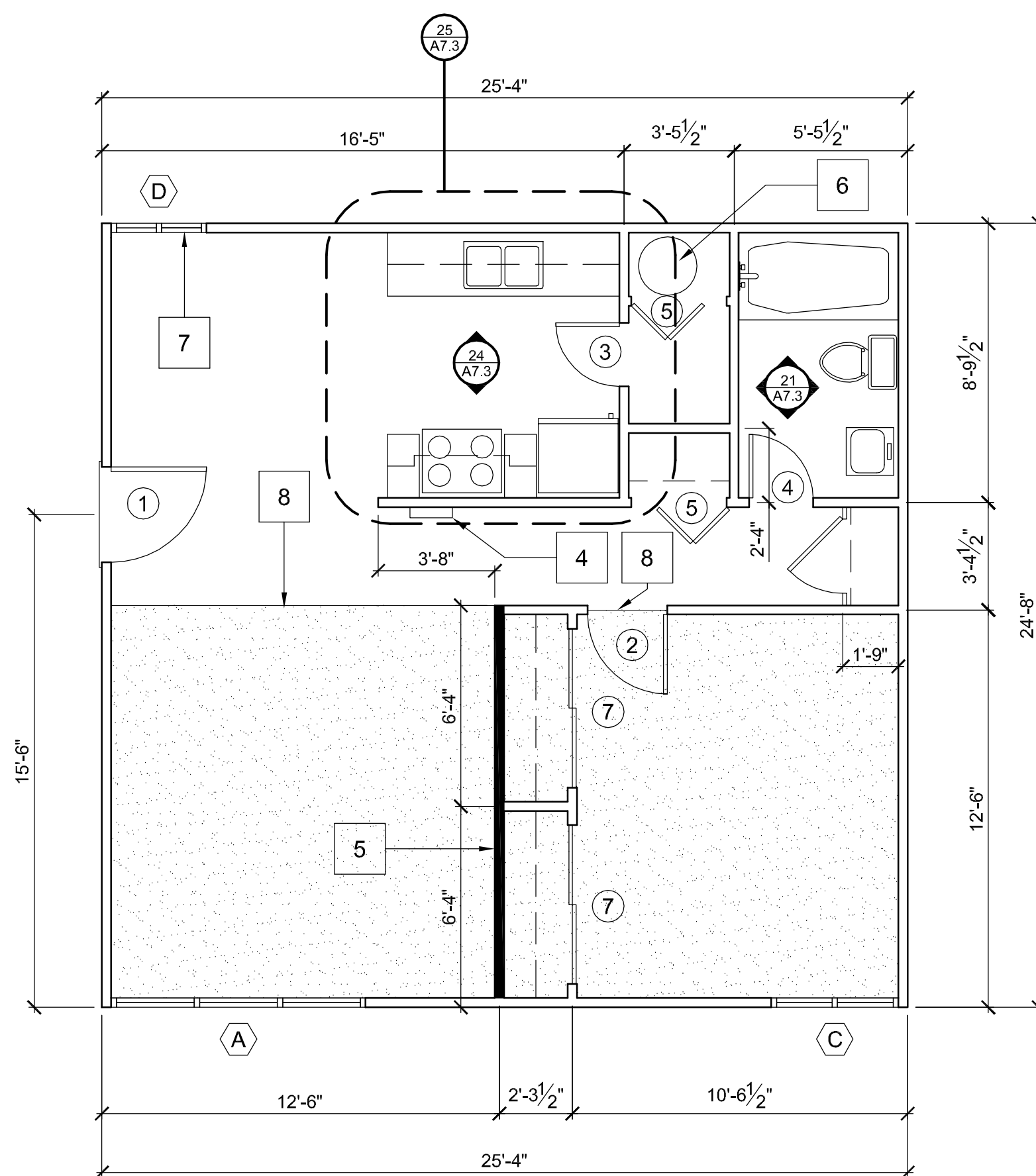
\\UOH\Madonna Rd Apts 1207\Drawings\0 - Drawing Sheets\A2.01 - Unit Floor Plans.dwg, 10/5/2012 10:37:35 PM



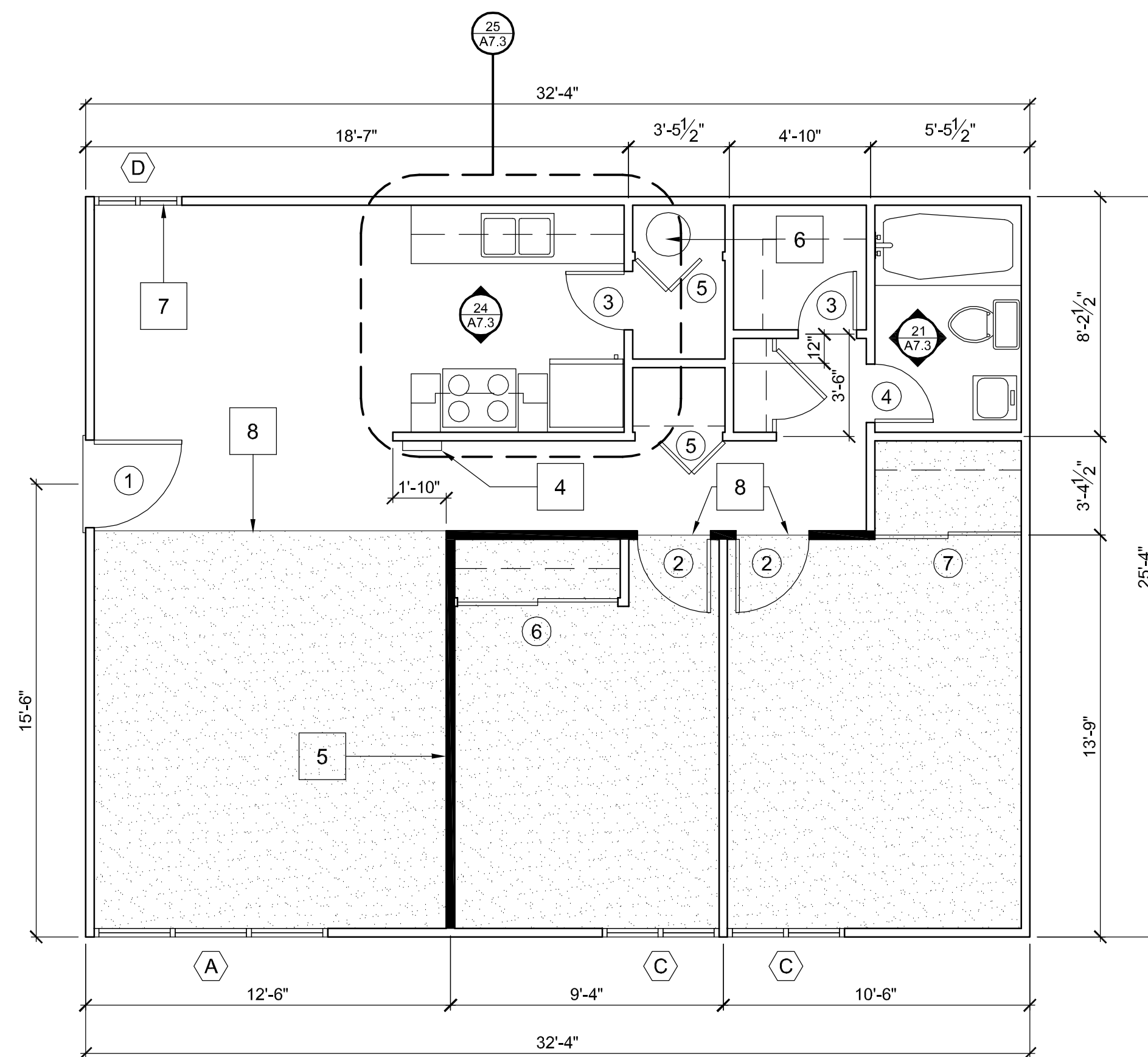
UNIT 'C' THREE BEDROOM FLOOR PLAN (996 s.f.)



UNIT 'D' FOUR BEDROOM FLOOR PLAN (1,142 s.f.)



UNIT 'A' ONE BEDROOM FLOOR PLAN (625 s.f.)



UNIT 'B' TWO BEDROOM FLOOR PLAN (820 s.f.)

UNIT	TYPE	QUANTITY
A	ONE BEDROOM	20
B	TWO BEDROOM	44
C	THREE BEDROOM	40
D	FOUR BEDROOM	16
		120

(X) SEE DOOR SCHEDULE SHEET A8.1

(X) SEE WINDOW SCHEDULE SHEET A8.1

UNIT PLAN KEYNOTES

- REFER TO CONTRACTOR'S UNIT MATRIX FOR UNIT-BY-UNIT DESCRIPTION OF WORK.
- SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR EXTENT OF WORK IN RESTROOMS AND KITCHENS.
- REFER TO DOOR, WINDOW AND FINISH SCHEDULES ON SHEET A8.1
- EXISTING WALL FURNACE.
- EXISTING BEARING WALLS (SHOWN SOLID FILLED).
- ALL WATER HEATER COMPARTMENTS HAVE THROUGH-WALL COMBUSTION AIR VENTS AT TOP AND BOTTOM.
- AT EVERY DINING ROOM WINDOW REMOVE EXISTING WINDOW AND FILL FRAME ABOVE AND BELOW TO SET NEW WINDOW HEAD AT 6'-8" TO MATCH (E) ADJACENT WINDOWS.
- PATTERN INDICATES EXTENT OF (E) CARPET TO REMAIN. CUT CARPET AND INSTALL TRANSITION STRIPS PER DETAIL 51 / A10.1.

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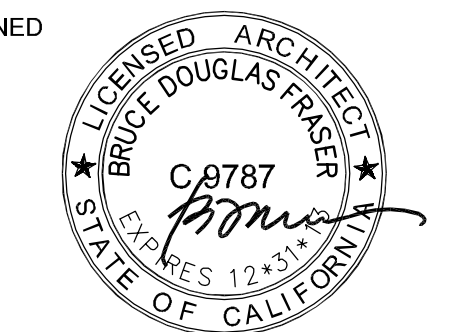
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SHEET TITLE

UNIT FLOOR PLANS

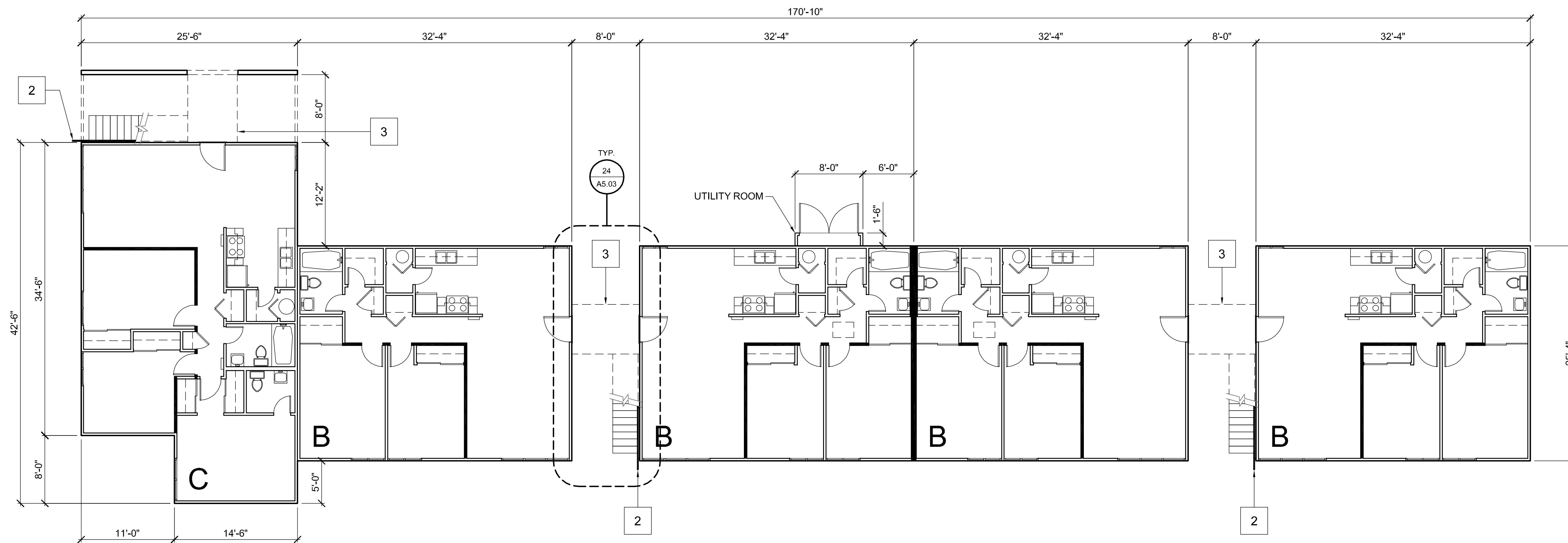
(1st & 2nd FLOORS ARE IDENTICAL)

SCALE: 1/4" = 1'-0"

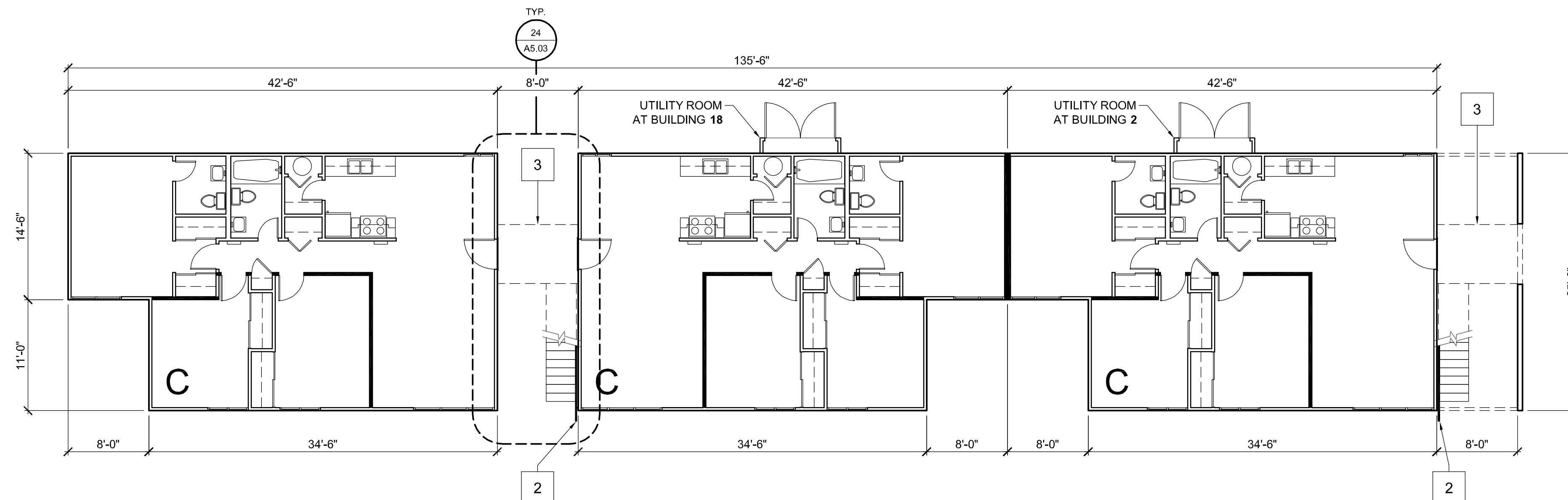
SHEET #

A2.01

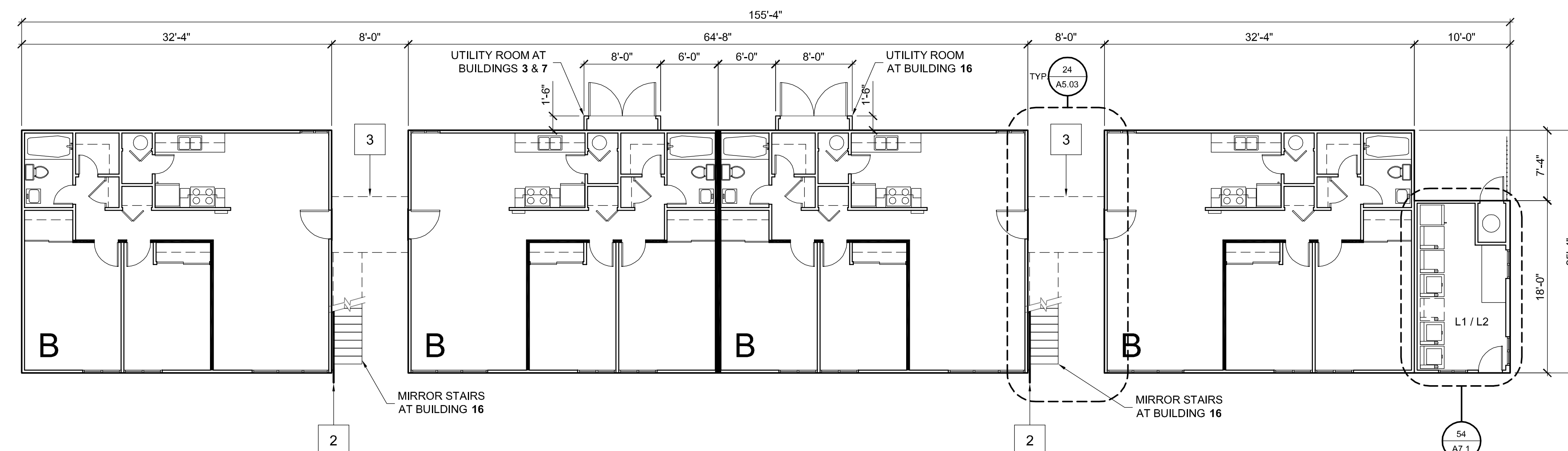
\\UOH\N\Madonna Rd Apts 1207\Drawings\0 - Drawing Sheets\A2.02 - Building Floor Plans.dwg, 10/3/2012 10:35:18 PM



BUILDING 1 FLOOR PLAN



BUILDINGS 2 & 18 FLOOR PLAN (BUILDING 18 IS MIRRORED)



BUILDINGS 3, 7 & 16 FLOOR PLAN (BUILDING 16 IS MIRRORED)

BUILDING PLAN KEYNOTES

1. REFER TO SHEET **A2.01** FOR UNIT FLOOR PLANS.
2. NEW WALL MOUNTED HANDRAIL. SEE **41 / A5.03**.
3. STRIP EXISTING DECK WEATHERPROOFING DOWN TO PLYWOOD AND INSTALL NEW TRAFFIC COATING SYSTEM. SEE SHEET **A5.04**.
4. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR EXTENT OF WORK IN RESTROOMS AND KITCHENS.
5. REFER TO DOOR, WINDOW AND FINISH SCHEDULES ON SHEET **A8.1**

BUILDING KEY PLAN



PROJECT

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ROAD
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SAN LUIS OBISPO, CA**

CLIENT JOB # ARCHITECT JOB #
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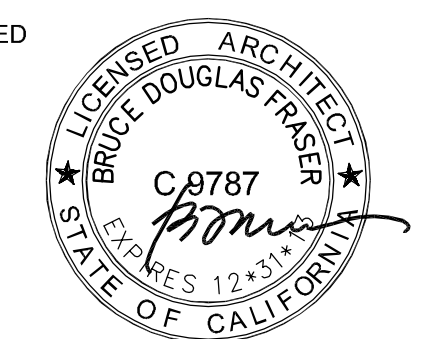
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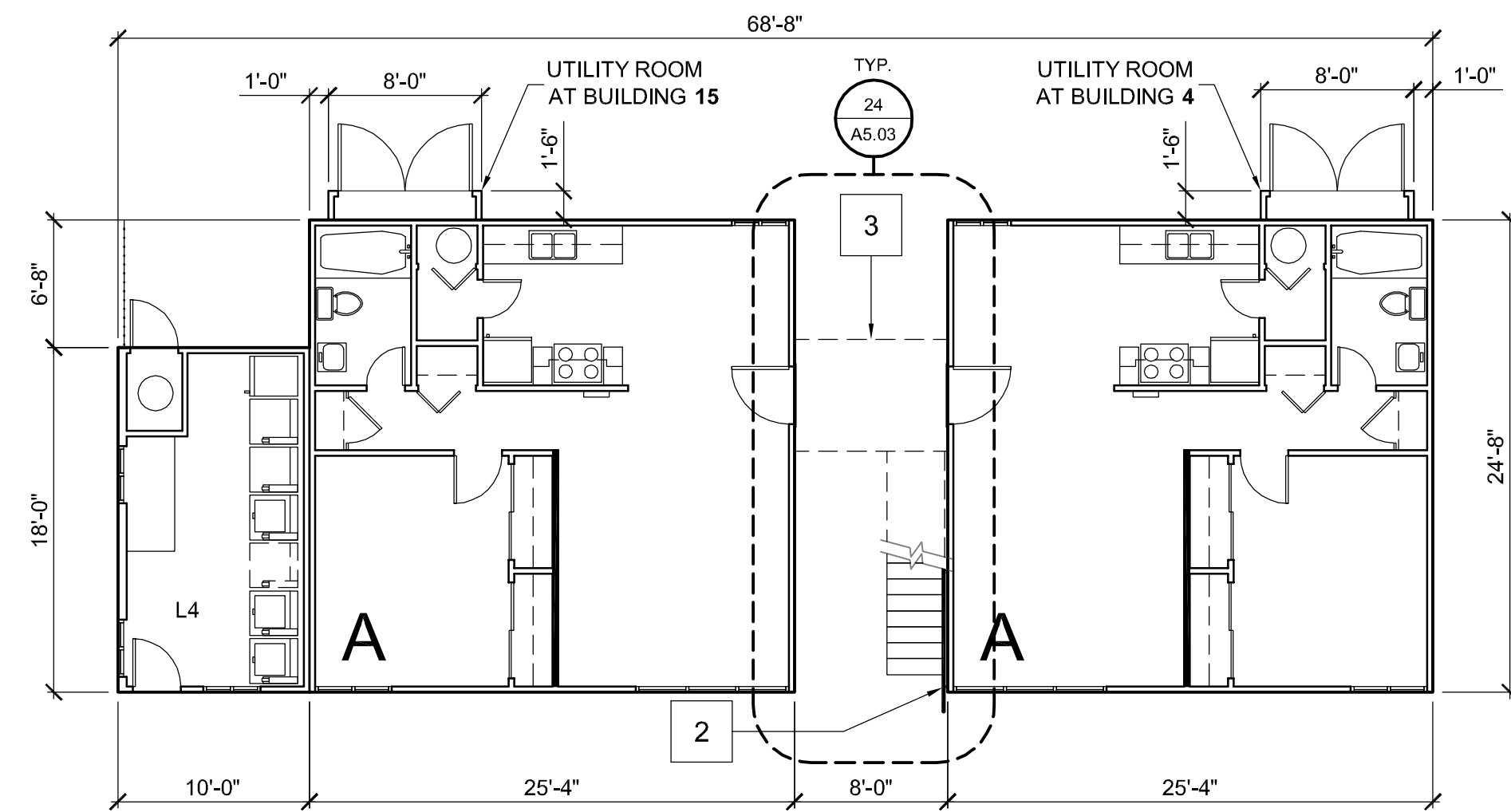
SHEET TITLE
**BUILDING FLOOR
PLANS 1,2,3,7,16,18**
(1st & 2nd FLOORS ARE IDENTICAL)

SCALE: 1/8" = 1'-0"

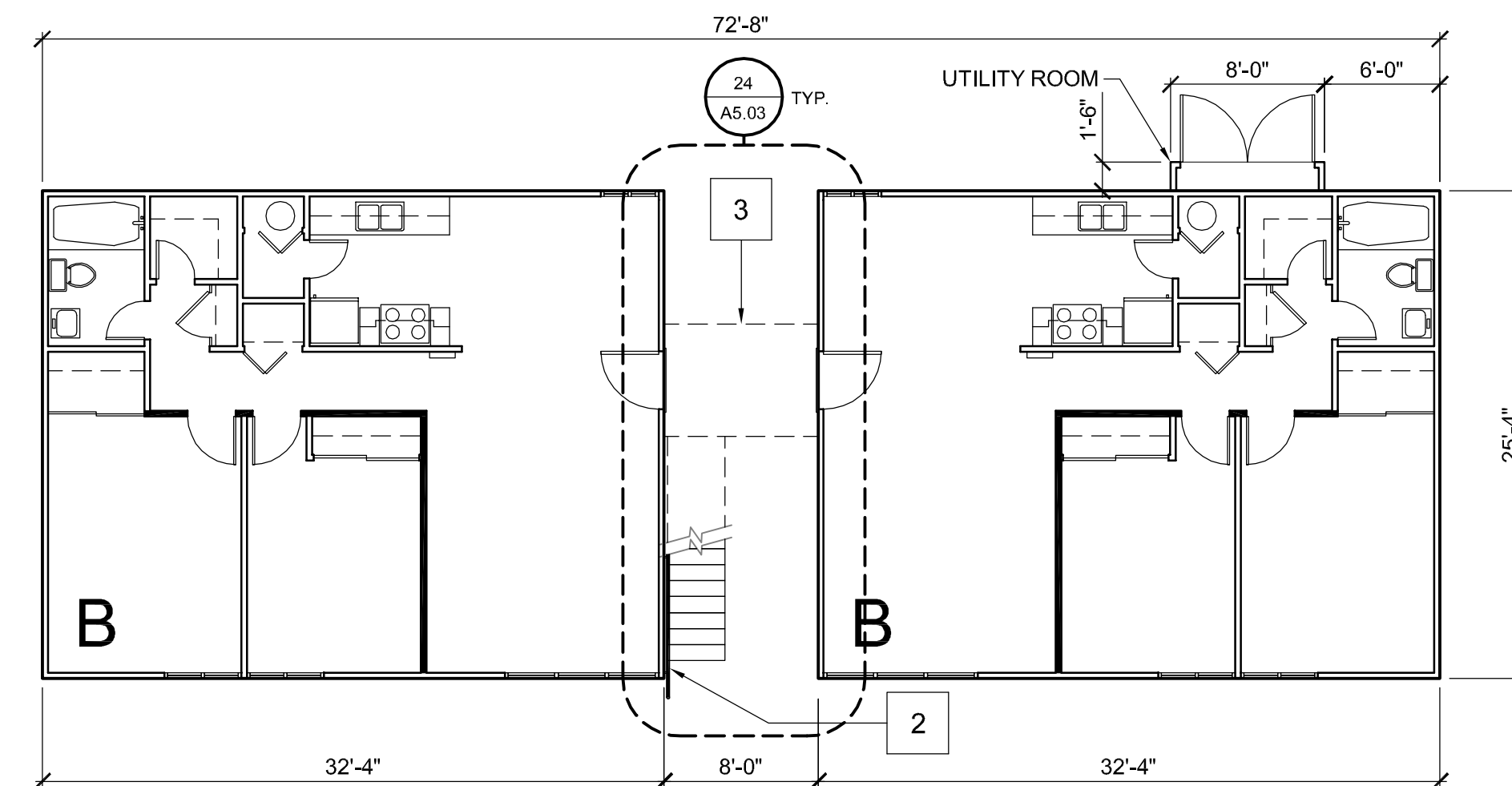
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A2.02

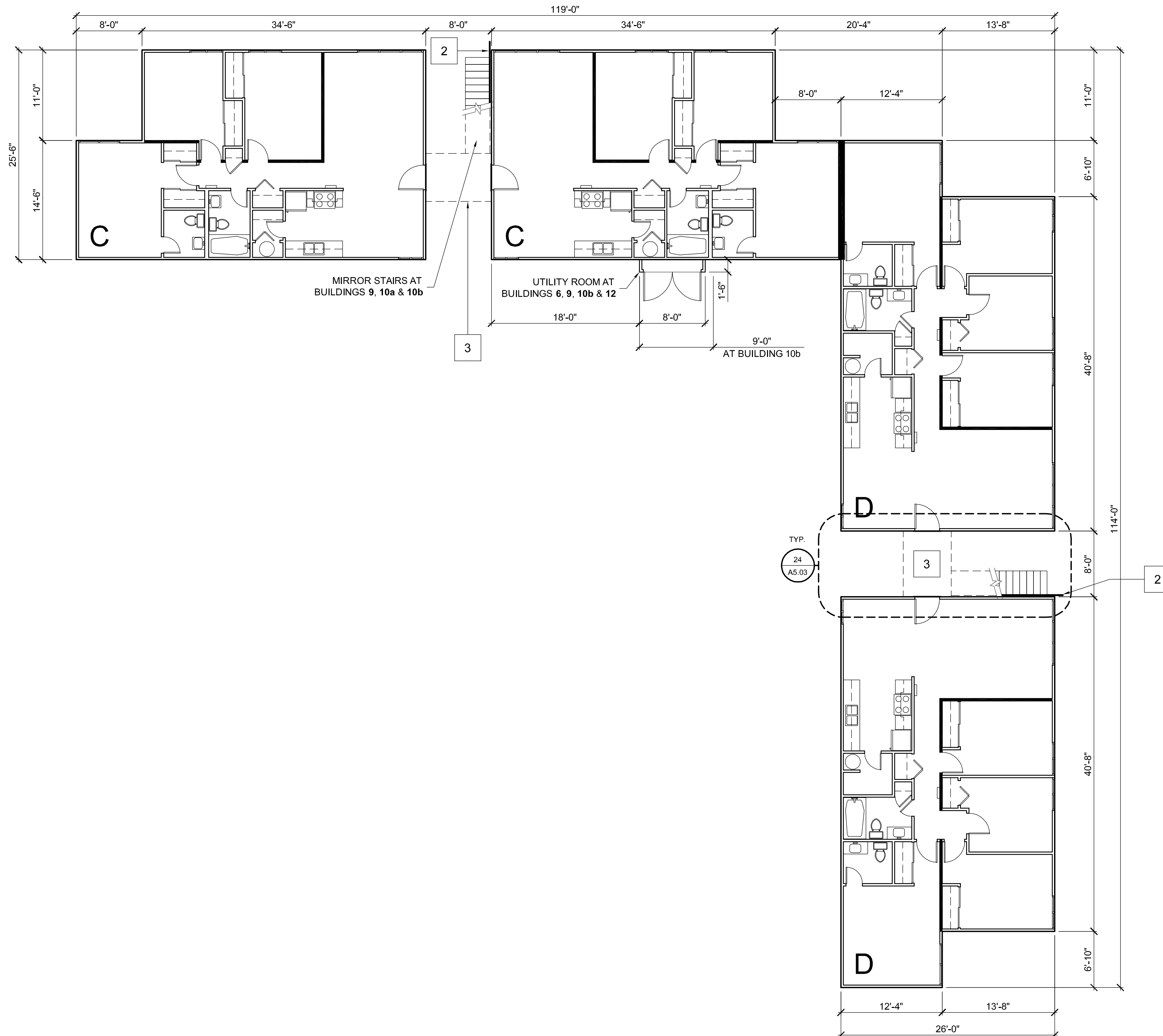
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BUILDINGS 4 & 15 FLOOR PLAN (BUILDING 15 INCLUDES LAUNDRY 4)



BUILDINGS 5 & 14 FLOOR PLAN (IDENTICAL)

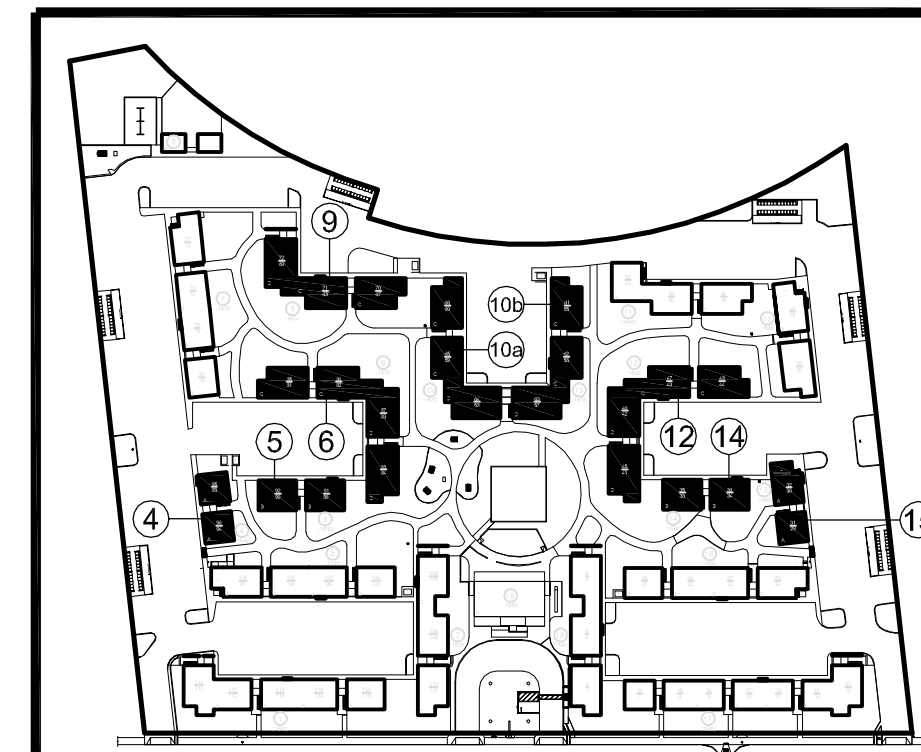


BUILDINGS 6, 9, 10a, 10b & 12 FLOOR PLAN (BUILDINGS 10a & 12 ARE MIRRORED, OUTLINED UNIT ONLY INCLUDED IN BUILDINGS 6 & 12)

BUILDING PLAN KEYNOTES

1. REFER TO SHEET **A2.01** FOR UNIT FLOOR PLANS.
2. NEW WALL MOUNTED HANDRAIL. SEE **41 / A5.03**.
3. STRIP EXISTING DECK WEATHERPROOFING DOWN TO PLYWOOD AND INSTALL NEW TRAFFIC COATING SYSTEM. SEE SHEET **A5.04**.
4. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR EXTENT OF WORK IN RESTROOMS AND KITCHENS.
5. REFER TO DOOR, WINDOW AND FINISH SCHEDULES ON SHEET **A8.1**

BUILDING KEY PLAN



PROJECT

**MADONNA
ROAD
APARTMENTS**

**A RENOVATION AND
UPGRADE PROJECT**

**1550 MADONNA ROAD
SAN LUIS OBISPO, CA**

CLIENT JOB # ARCHITECT JOB #
1207

**FRASER
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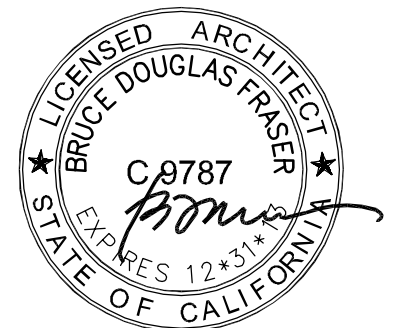
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SHEET TITLE

**BUILDING FLOOR
PLANS**

**4,5,6,9,10a,10b,
12,14,15**

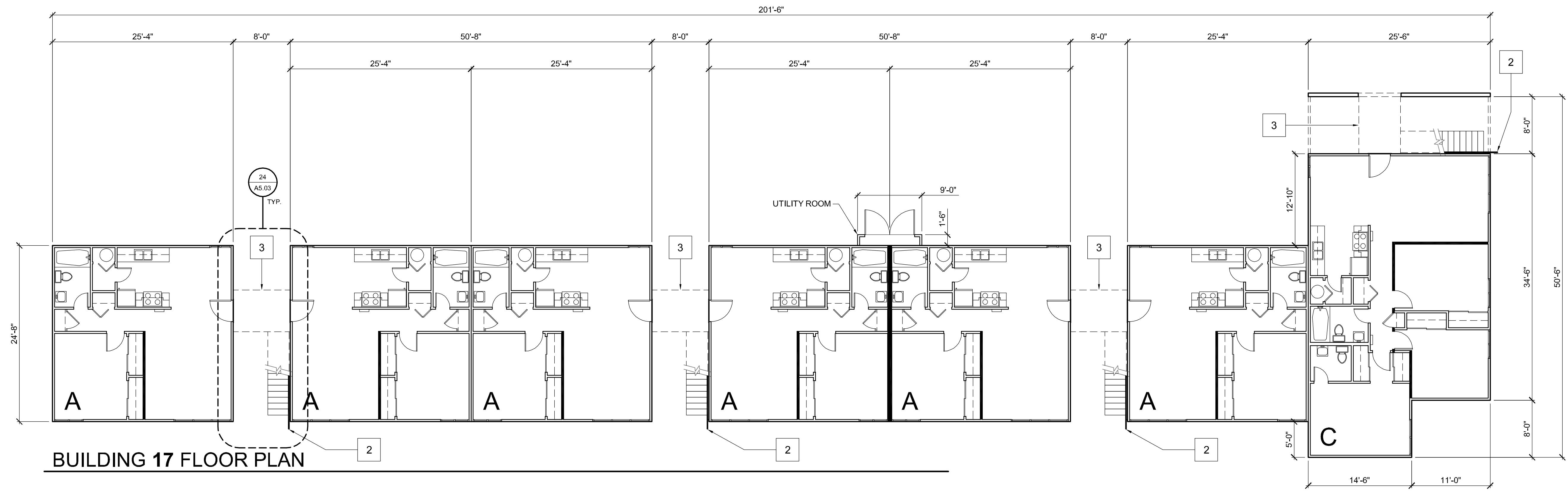
(1st & 2nd FLOORS ARE IDENTICAL)

SCALE: 1/8" = 1'-0"

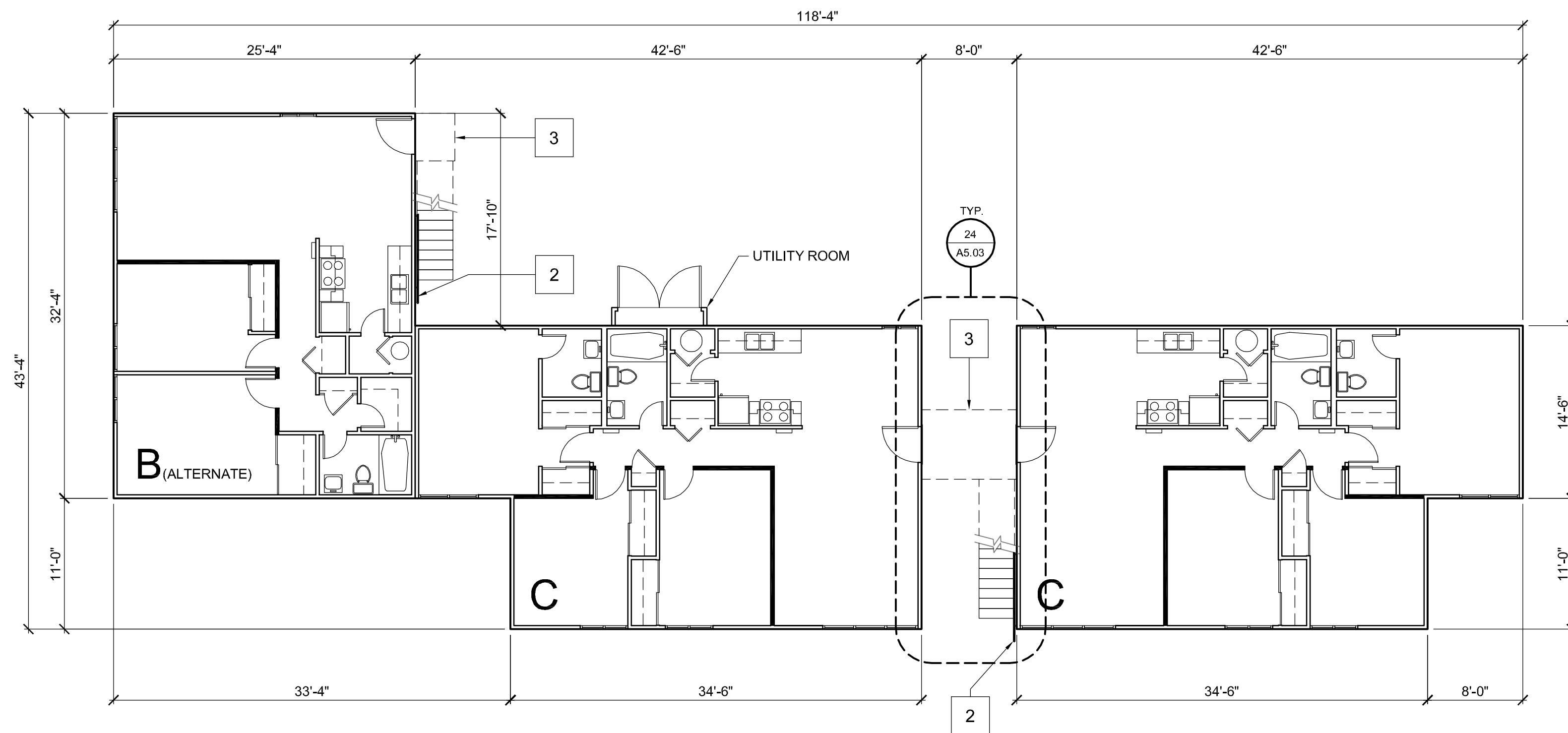
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A2.03

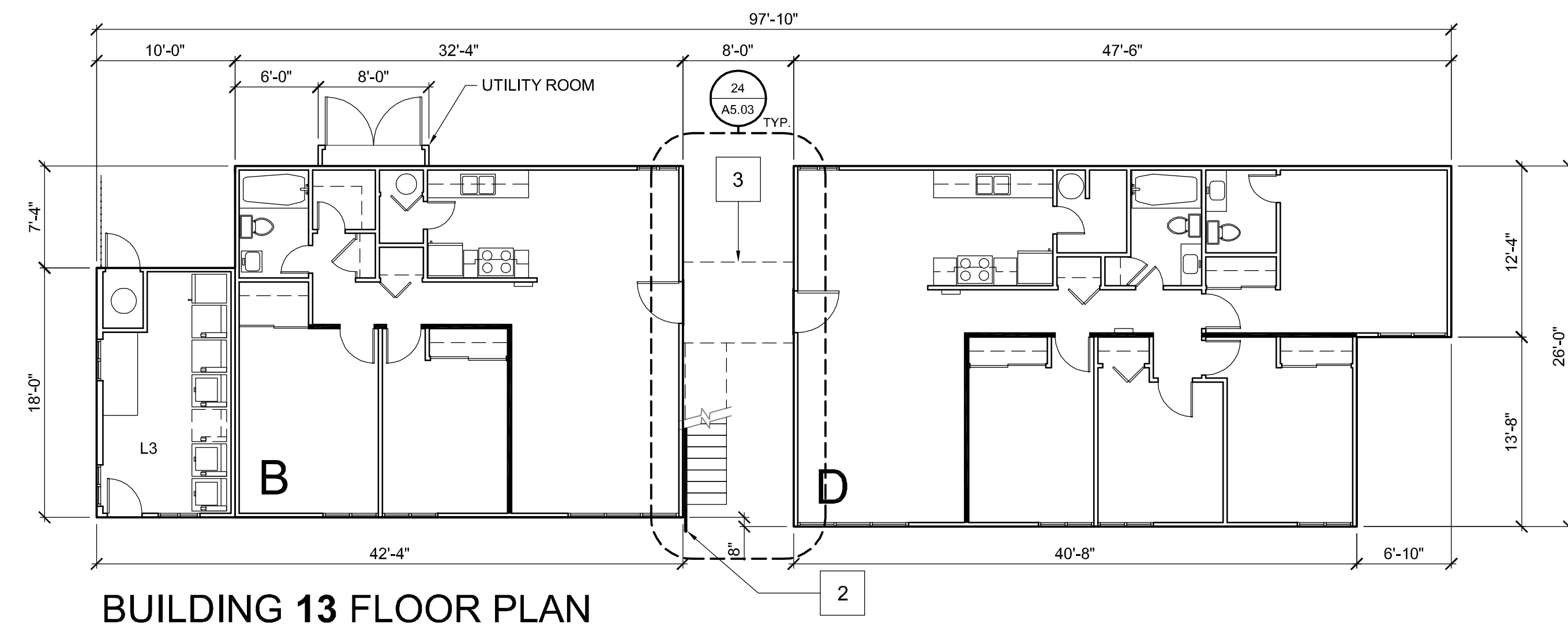
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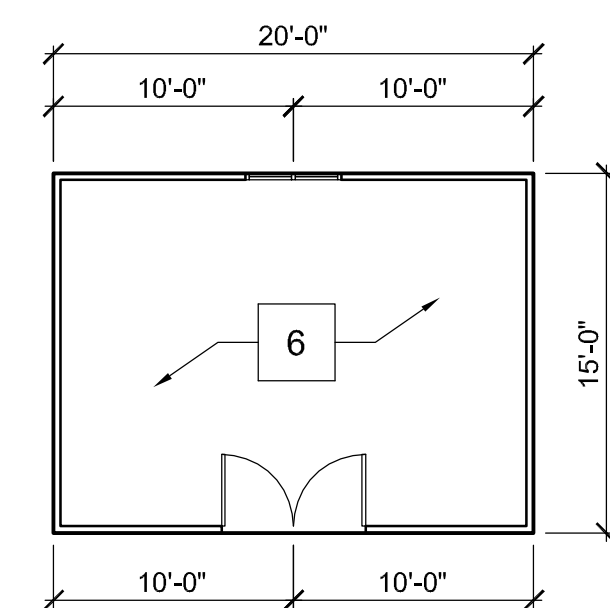
BUILDING 17 FLOOR PLAN



BUILDING 11 FLOOR PLAN



BUILDING 13 FLOOR PLAN

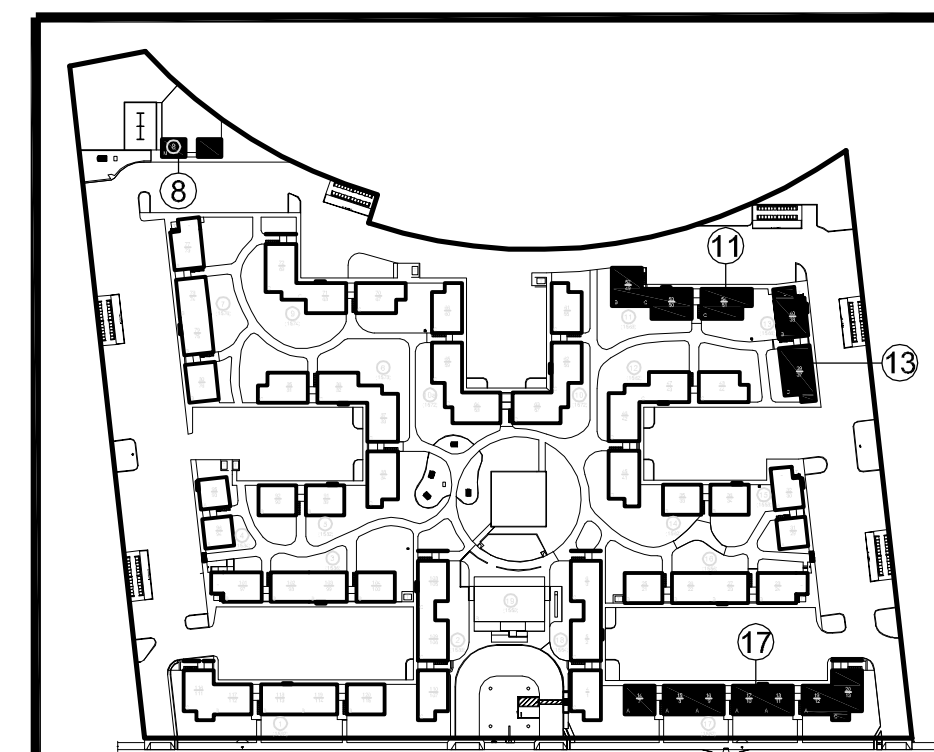


BUILDING 8 FLOOR PLAN

BUILDING PLAN KEYNOTES

1. REFER TO SHEET **A2.01** FOR UNIT FLOOR PLANS.
2. NEW WALL MOUNTED HANDRAIL. SEE **41 / A5.03**.
3. STRIP EXISTING DECK WEATHERPROOFING DOWN TO PLYWOOD AND INSTALL NEW TRAFFIC COATING SYSTEM. SEE SHEET **A5.04**.
4. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR EXTENT OF WORK IN RESTROOMS AND KITCHENS.
5. REFER TO DOOR, WINDOW AND FINISH SCHEDULES ON SHEET **A8.1**
6. NO WORK TO BE DONE IN THIS BUILDING.

BUILDING KEY PLAN



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ARCHITECTS

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SAN LUIS OBISPO
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805-544-6161

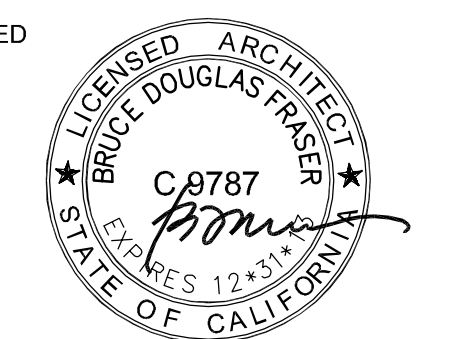
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SHEET TITLE

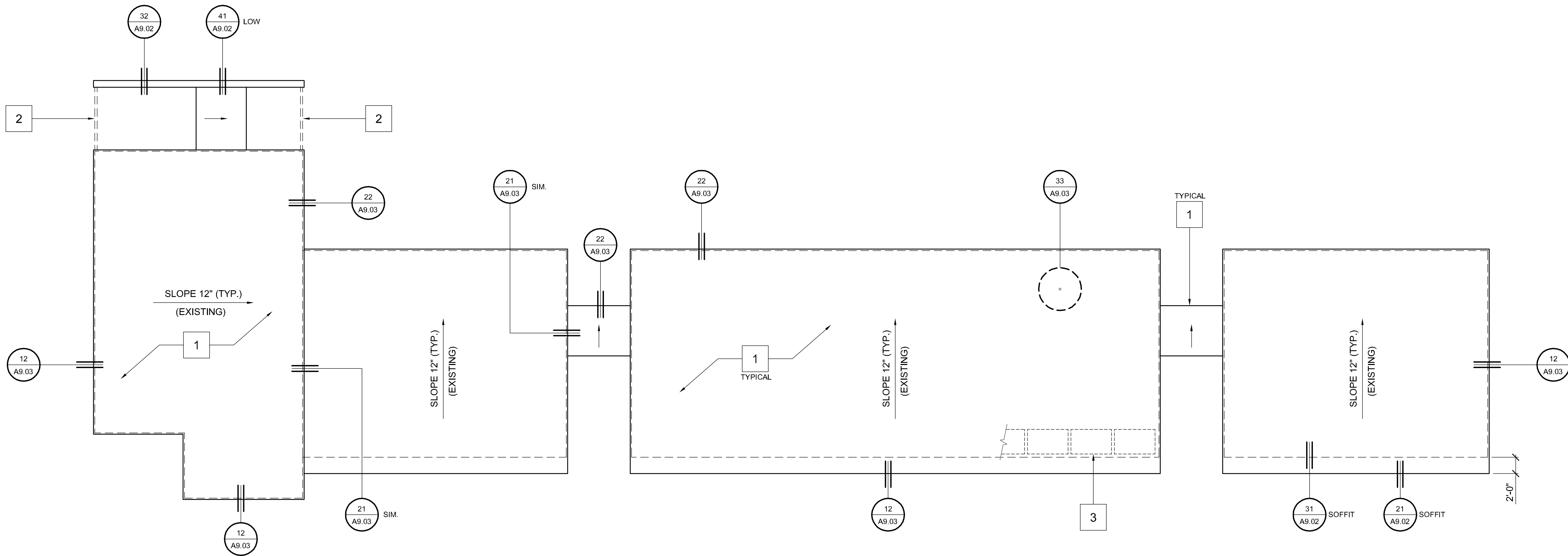
BUILDING FLOOR PLANS 8,11,13,17
(1st & 2nd FLOORS ARE IDENTICAL)

SCALE: 1/8" = 1'-0"

SHEET #

A2.04

\\UCHN\Madonna Rd Apts 1207\Drawings\0 - Drawing Sheets\A3.01 - Building Roof Plan.dwg, 10/3/2012 10:39:42 PM

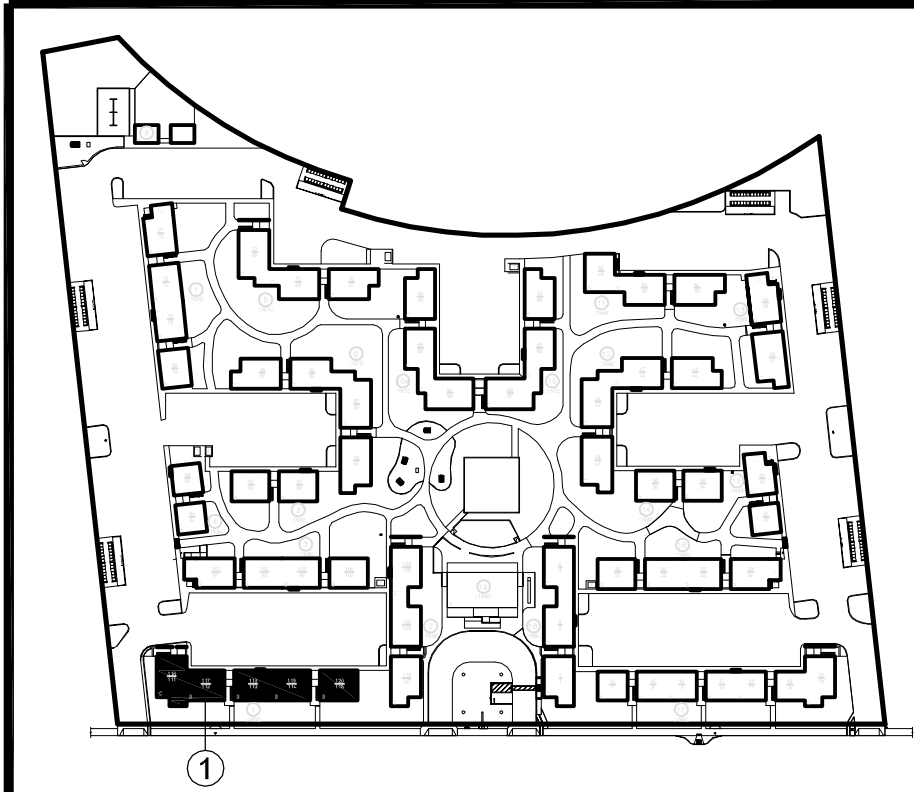


BUILDING ROOF PLAN (BUILDING 1, TYP.)
SCALE : 1/8" = 1'-0"

ROOF PLAN KEYNOTES

1. DEMOLISH ALL (E) 4-PLY CAP SHEET ROOF SYSTEMS DOWN TO PLYWOOD SHEATHING. INSTALL NEW SINGLE-PLY ROOF MEMBRANE SYSTEM OVER 1/4" DENSDECK. SEE SHEET **A9.03**.
2. INSTALL 22 GAUGE METAL FLASHING CAPS ON ALL EXPOSED BEAMS.
3. COORDINATE LOCATION OF ROOF WALKWAY PADS IN FIELD IN CONJUNCTION WITH PHOTOVOLTAIC SYSTEM INSTALLATION.

BUILDING KEY PLAN



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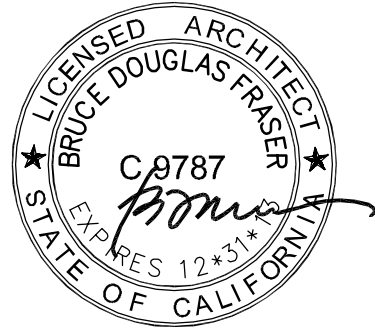
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SHEET TITLE

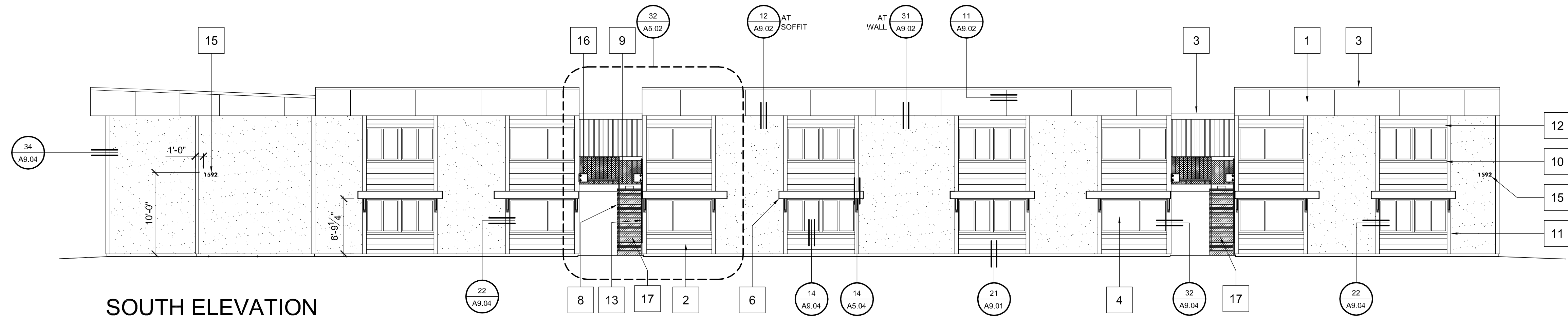
**BUILDING ROOF
PLAN
(BUILDING 1, TYP.)**

SCALE: 1/8" = 1'-0"

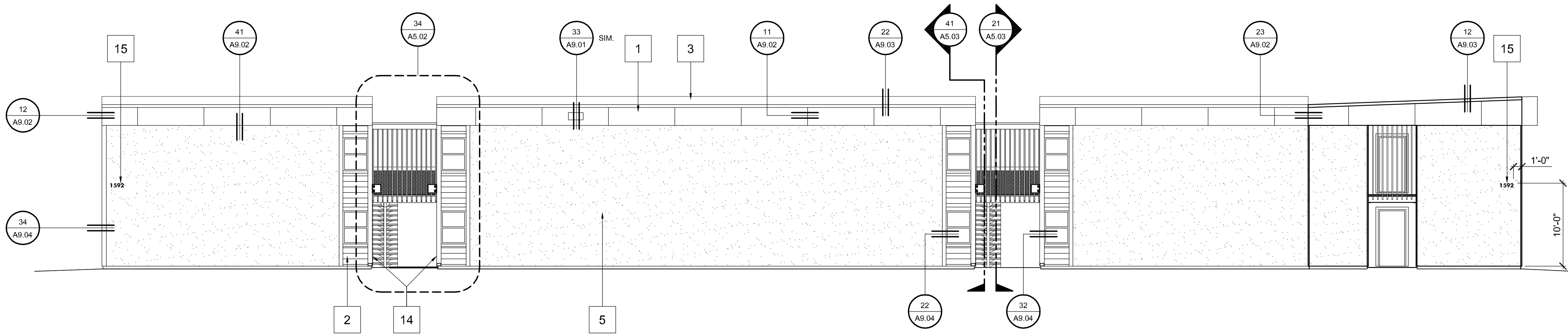
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A3.01

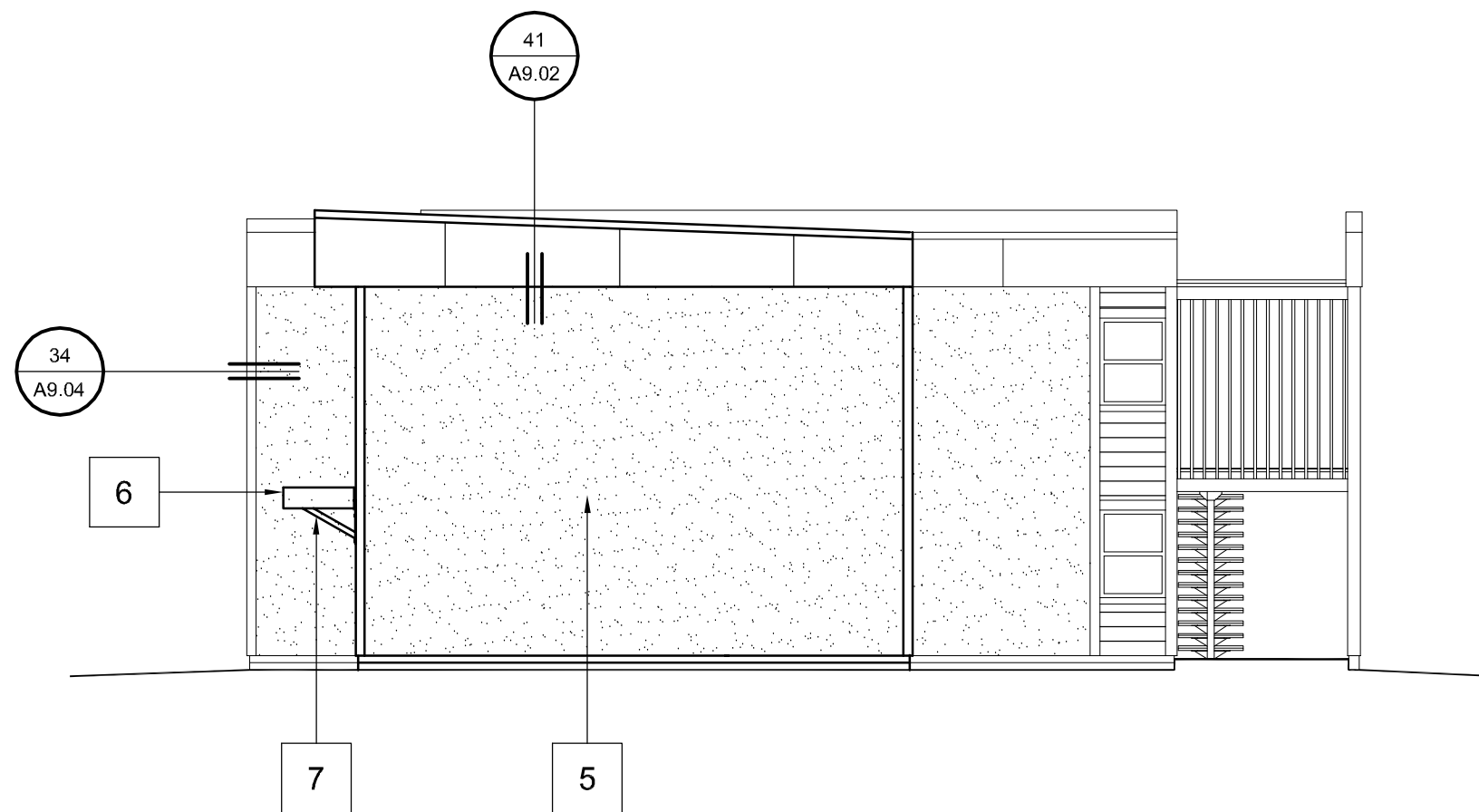
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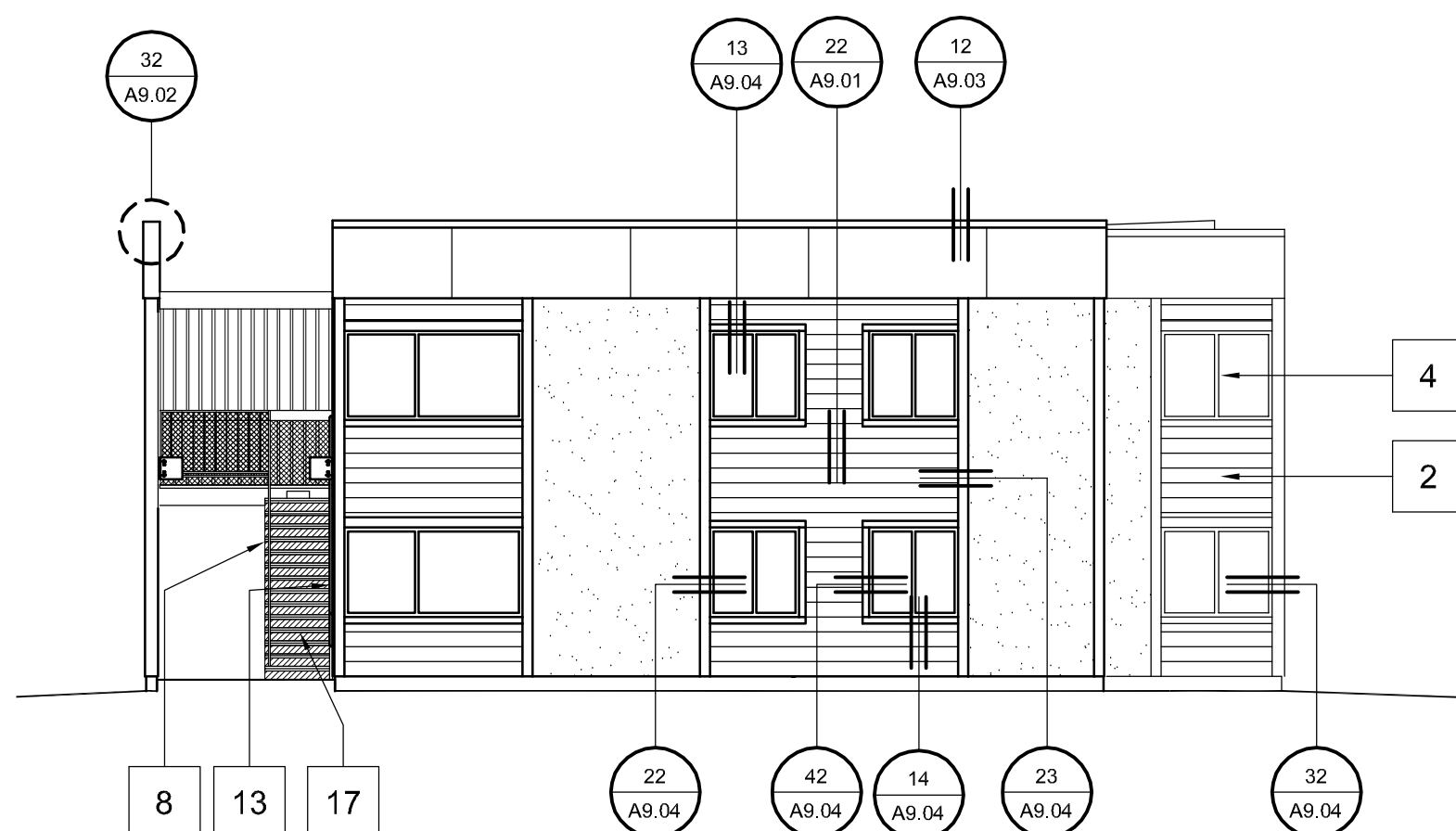
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION

ELEVATION KEYNOTES

- HARDIE REVEAL PANEL SYSTEM COLORPLUS PREFINISHED 7/16" PANELS WITH ALUMINUM REVEALS..
- HARDIPLANK COLORPLUS PREFINISHED SMOOTH 8.25" LAP SIDING.
- NEW SINGLE PLY ROOF.
- NEW DUAL PANE VINYL WINDOWS.
- PATCH AND COLORMATCH EXISTING 3-COAT STUCCO EXTERIOR AS DIRECTED BY EXTERIOR REPAIR MATRIX.
- NEW SOLAR SHADING DEVICES (ALONG MADONNA ROAD FRONTAGE ONLY). FIBER CEMENT FASCIA TO MATCH BUILDING TRIM. SEE DETAIL 14 / A5.04.
- ANGLE BRACES.
- REMOVE RUST AND RE-PAINT EXISTING STEEL STRINGERS.
- APPLY NEW WATERPROOF MEMBRANE TO ALL 2ND FLOOR LANDINGS.
- HARDITRIM COLORPLUS PREFINISHED, 3/4" x 3 1/2", SILL TRIM, TYP.
- HARDITRIM COLORPLUS PREFINISHED, 3/4" x 7 1/4", VERT. TRIM, TYP.
- HARDITRIM COLORPLUS PREFINISHED, 3/4" x 5 1/4", HEAD TRIM, TYP.
- NEW WALL MOUNTED HANDRAIL AT ALL STAIRWAYS. SEE DETAIL 41 / A5.03.
- REPLACE ALL EXISTING DOWNSPOUTS AND GUTTERS.
- NEW BUILDING ADDRESS SIGNAGE: 6" DIMENSIONAL PLASTIC NUMBERS, FUTURA MEDIUM, MOUNT AT BUILDING CORNERS TO BE CLEARLY VISIBLE FROM ALL DRIVEWAYS. SEE NOTE 19 / A1.2 FOR LOCATIONS.
- NEW UNIT ADDRESS SIGNAGE: 3" NUMBERS, FUTURA MEDIUM, ON 12"x12" PLAQUE, FLAG MOUNTED TO WALL OR CORNER TRIM, BOTH ENDS OF EACH BREEZEWAY, TYP.
- PROVIDE PERMANENT NOSING MARKINGS OF STAIRS AND STEPS FOR THE VISUALLY IMPAIRED - 2" MINIMUM WIDE FOR FULL WIDTH OF TREAD WITH CONTRASTING COLOR AT EACH TREAD OF EXTERIOR STAIRWAY OR STEPS.
- PROVIDE 2 LAYERS OF GRADE D BUILDING PAPER, OR EQUAL, BEHIND EXTERIOR PLASTER WHERE INSTALLED OVER WOOD-BASED SHEATHING.

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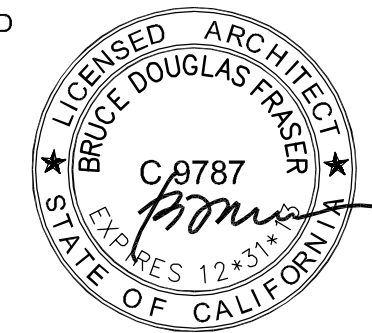
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SHEET TITLE

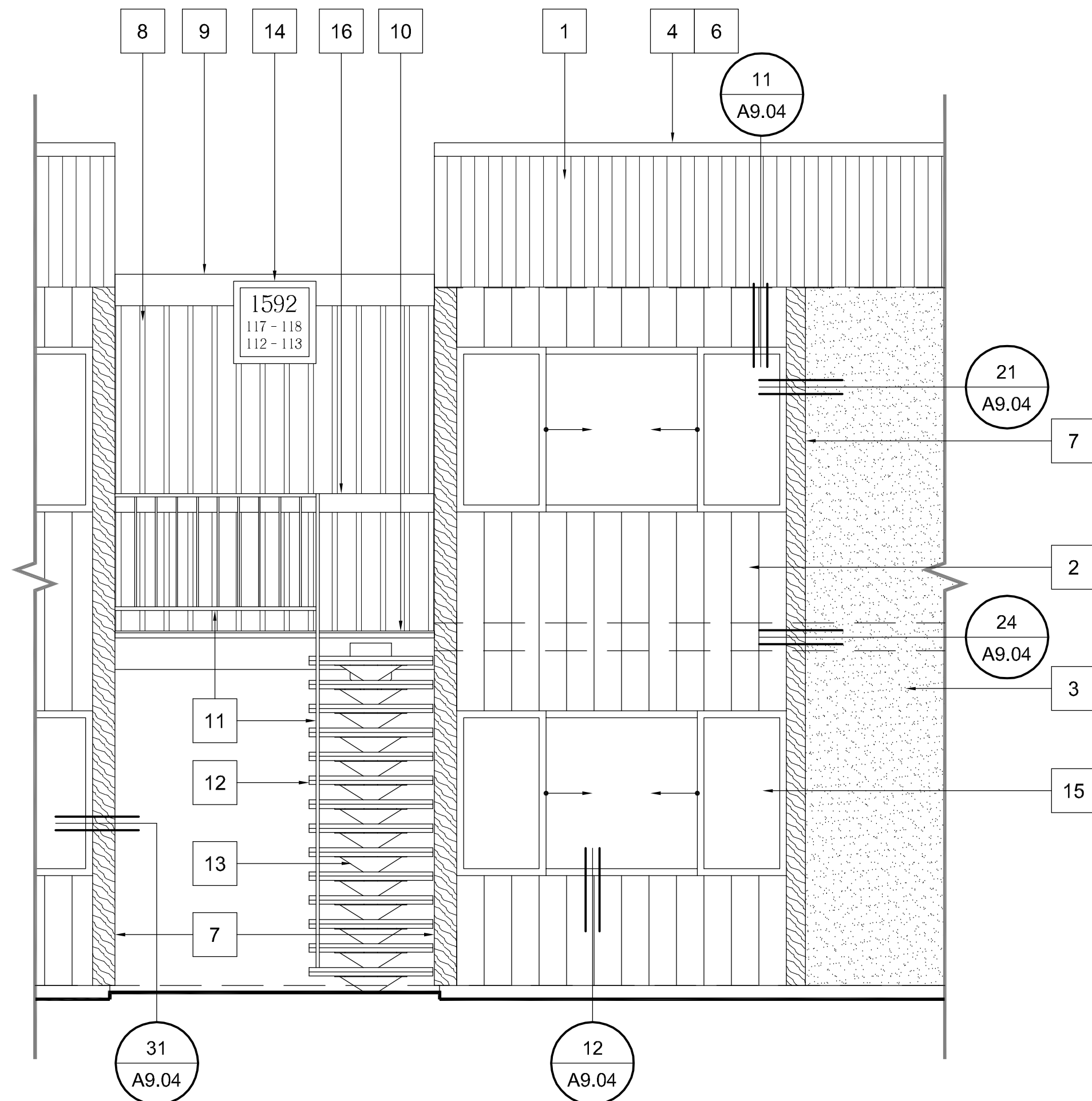
BUILDING
ELEVATIONS
(BUILDING 1, TYP.)

SCALE: 1/8" = 1'-0"

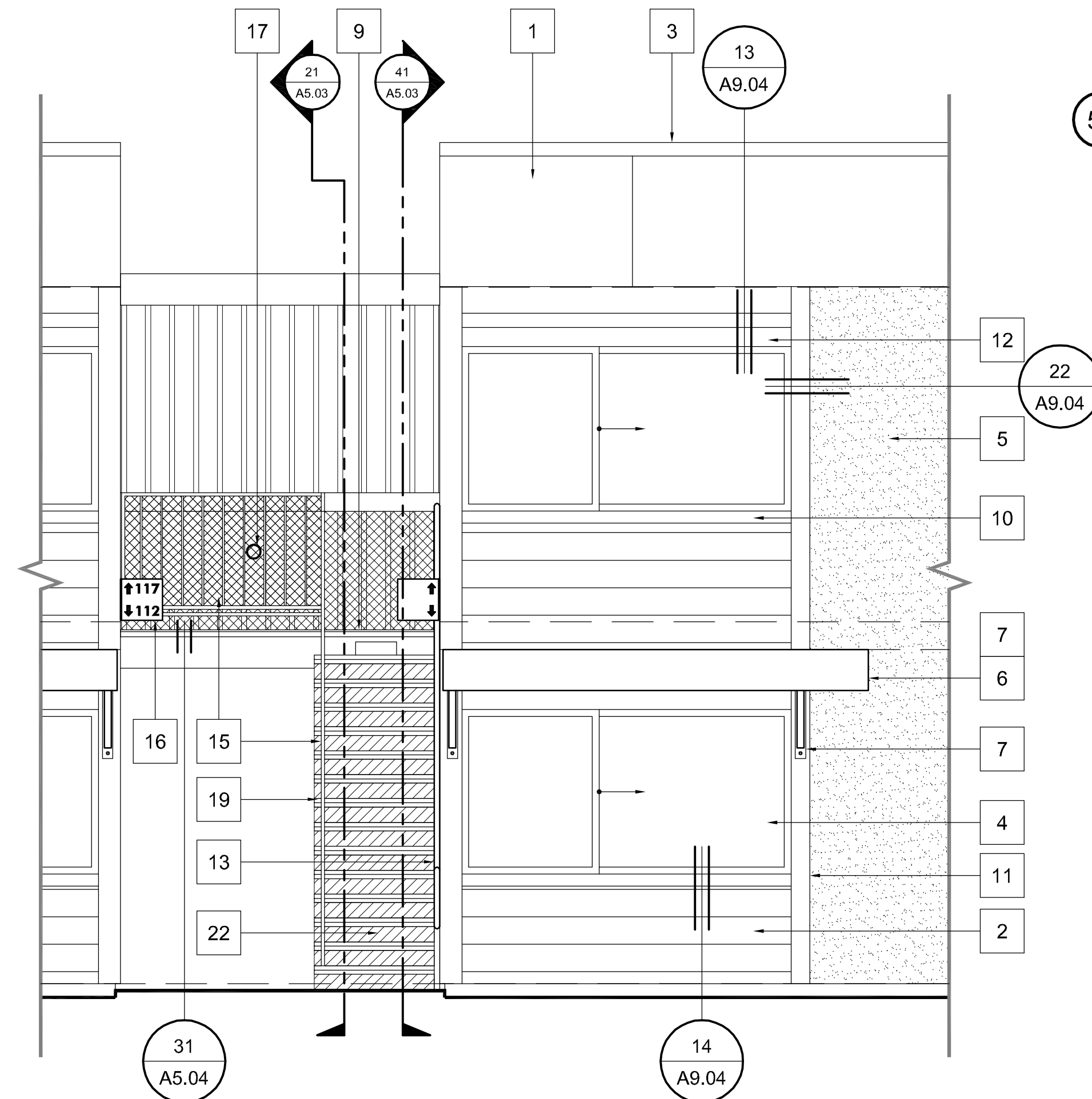
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A5.01

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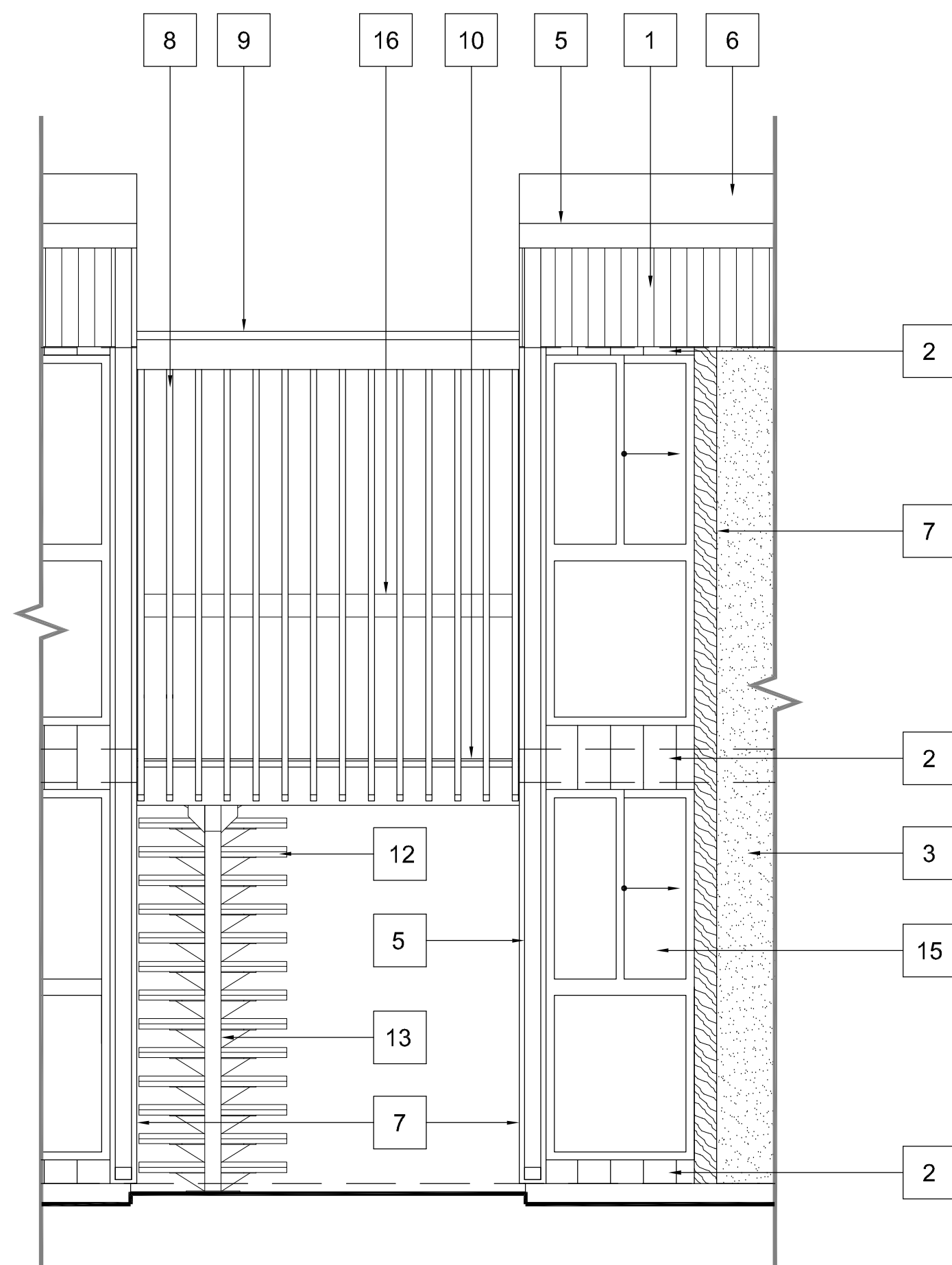
52 EXISTING ELEVATION, TYP.
3/8"=1'-0"



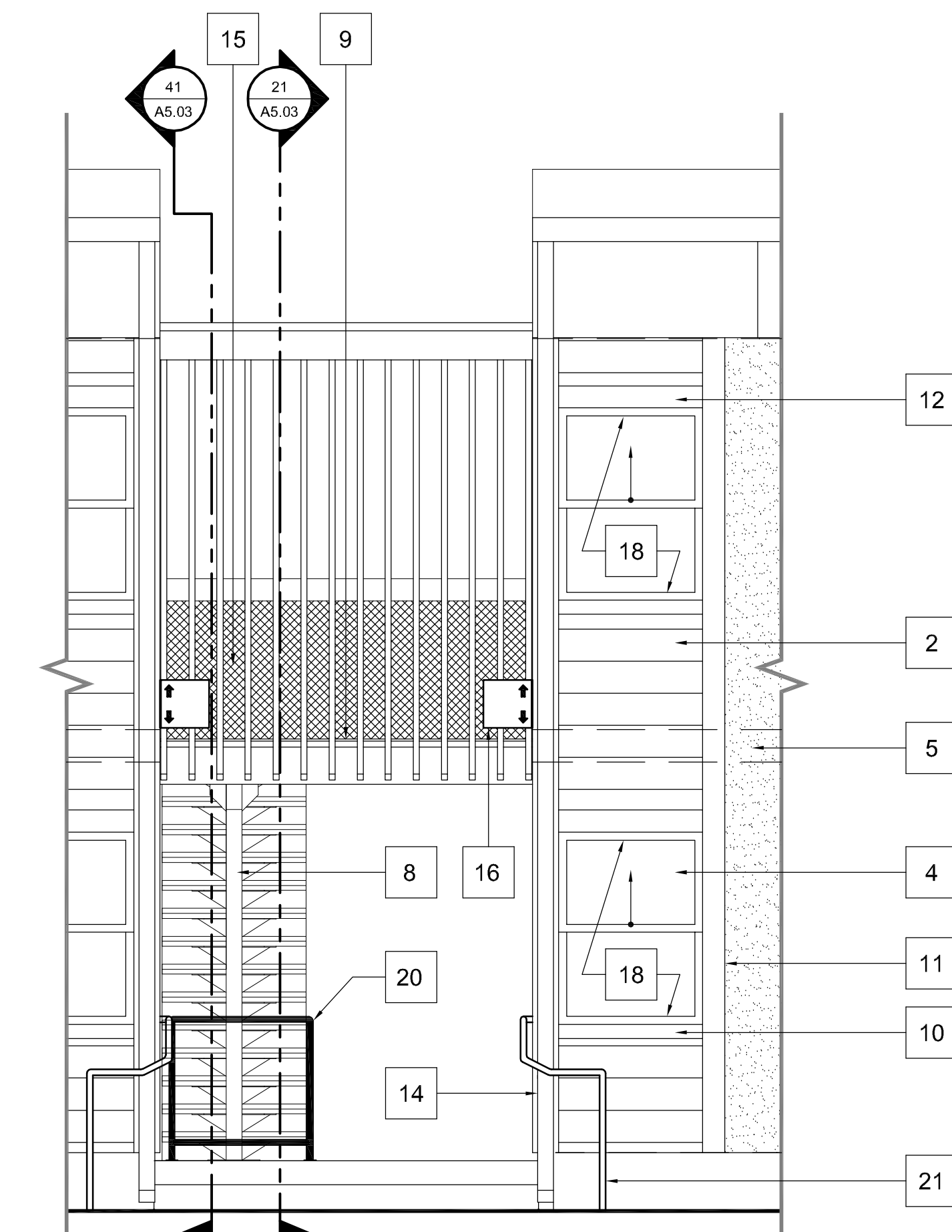
32 NEW ELEVATION, TYP.
3/8"=1'-0"

52 54 EXISTING ELEVATION KEYNOTES

1. FASCIA & SOFFIT: ROUGH SAWN CEDAR PLYWOOD SIDING W/ VERTICAL REVEALS @ 4" O.C.
2. SIDING: ROUGH SAWN CEDAR PLYWOOD SIDING W/ VERTICAL REVEALS @ 8" O.C.
3. CEMENT PLASTER.
4. 26 GA. GRAVEL STOP.
5. 26 GA. GUTTER @ DOWNSPOUT.
6. ROOF: 4 PLY BUILT-UP CAP SHEET.
7. REMOVE ALL (E) 2x PAINTED TRIM.
8. 2x2 PAINTED SLATS @ 6" O.C..
9. BREEZWAY ROOF: 2x6 T&G OVER 3x LEDGERS W/ CAP SHEET ROOF.
10. TOP LANDING: 1/2" EXTERIOR GRADE PLYWOOD OVER 2x6 T&G DECKING WITH WATERPROOF DECK TOPPING.
11. GUARDRAILS: 1" SQ. METAL TUBE TOP AND BOTTOM RAILS; 1/2" SQ. STEEL BARS @ 6" O.C.
12. TREADS: PRECAST CONCRETE.
13. STRINGER: 4"x7"x1/4" TUBE STEEL, PAINTED.
14. ADDRESS SIGNAGE ON PAINTED PLYWOOD BACKING.
15. ALUMINUM FRAMED SINGLE PANE WINDOW.
16. 4x6 PAINTED HANDRAIL.



54 EXISTING ELEVATION, TYP.
3/8"=1'-0"



32 34 NEW ELEVATION KEYNOTES

1. FASCIA & SOFFIT: HARDIE REVEAL PANEL SYSTEM COLORPLUS PREFINISHED 7/16" PANELS WITH ALUMINUM REVEALS. SEE SHEET **A9.02**.
2. SIDING: HARDIPLANK COLORPLUS PREFINISHED SMOOTH 8.25" LAP SIDING. SEE SHEET **A9.01**.
3. NEW SINGLE PLY ROOF. SEE SHEET **A9.03**.
4. NEW DUAL PANE VINYL WINDOWS.
5. PATCH AND COLORMATCH EXISTING 3-COAT STUCCO EXTERIOR AS DIRECTED BY EXTERIOR REPAIR MATRIX.
6. NEW SOLAR SHADING DEVICE. FIBER CEMENT FASCIA TO MATCH BUILDING TRIM. SEE DETAIL **14 / A5.04**.
7. HARDITRIM COLORPLUS PREFINISHED, 3/4" x 11 1/4", SOLAR SHADING DEVICE FASCIA, TYP.
8. REMOVE RUST AND RE-PAINT EXISTING STEEL STRINGERS.
9. APPLY NEW WATERPROOF MEMBRANE TO ALL 2ND FLOOR LANDINGS. SEE DETAILS **21, 31 & 41 / A5.04**.
10. HARDITRIM COLORPLUS PREFINISHED, 3/4" x 3 1/2", SILL TRIM, TYP.
11. HARDITRIM COLORPLUS PREFINISHED, 3/4" x 7 1/4", VERT. TRIM, TYP.
12. HARDITRIM COLORPLUS PREFINISHED, 3/4" x 5 1/4", HEAD TRIM, TYP.
13. NEW WALL MOUNTED HANDRAIL AT ALL STAIRWAYS. SEE DETAIL **24 / A5.04**.
14. REPLACE ALL EXISTING DOWNSPOUTS AND GUTTERS.
15. 1 1/4" SQUARE BLACK VINYL COATED EXPANDED METAL MESH INFILL PANEL WITH 'U' EDGE TRIM ALL AROUND, MECHANICALLY ATTACHED TO (E) GUARDRAIL.
16. ADDRESS SIGNAGE: 3" NUMBERS, FUTURA MEDIUM, ON 12"x12" PLAQUE, FLAG MOUNTED TO WALL OR CORNER TRIM. SEE SPECS.
17. GUARDRAILS SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER.
18. FILL FRAME ABOVE AND BELOW TO SET NEW WINDOW AT +6'-8" A.F.F.
19. PROVIDE PERMANENT NOSING MARKINGS OF STAIRS AND STEPS FOR THE VISUALLY IMPAIRED - 2" MINIMUM WIDE FOR FULL WIDTH OF TREAD WITH CONTRASTING COLOR AT EACH TREAD OF EXTERIOR STAIRWAY OR STEPS.
20. NEW 36" WIDE SURFACE MOUNT GUARDRAIL AT UNDERSIDE OF STAIRS, TYP. SEE DETAIL **34 / A5.04**.
21. NEW HANDRAILS PROVIDED WHEN TWO OR MORE EXISTING RISERS ARE PRESENT. SEE DETAIL **44 / A5.03**.
22. NEW CLOSED RISERS PER DETAIL **23 / A5.04**.

PROJECT

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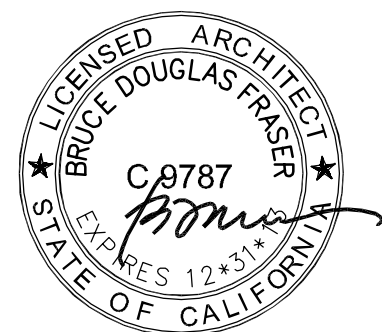
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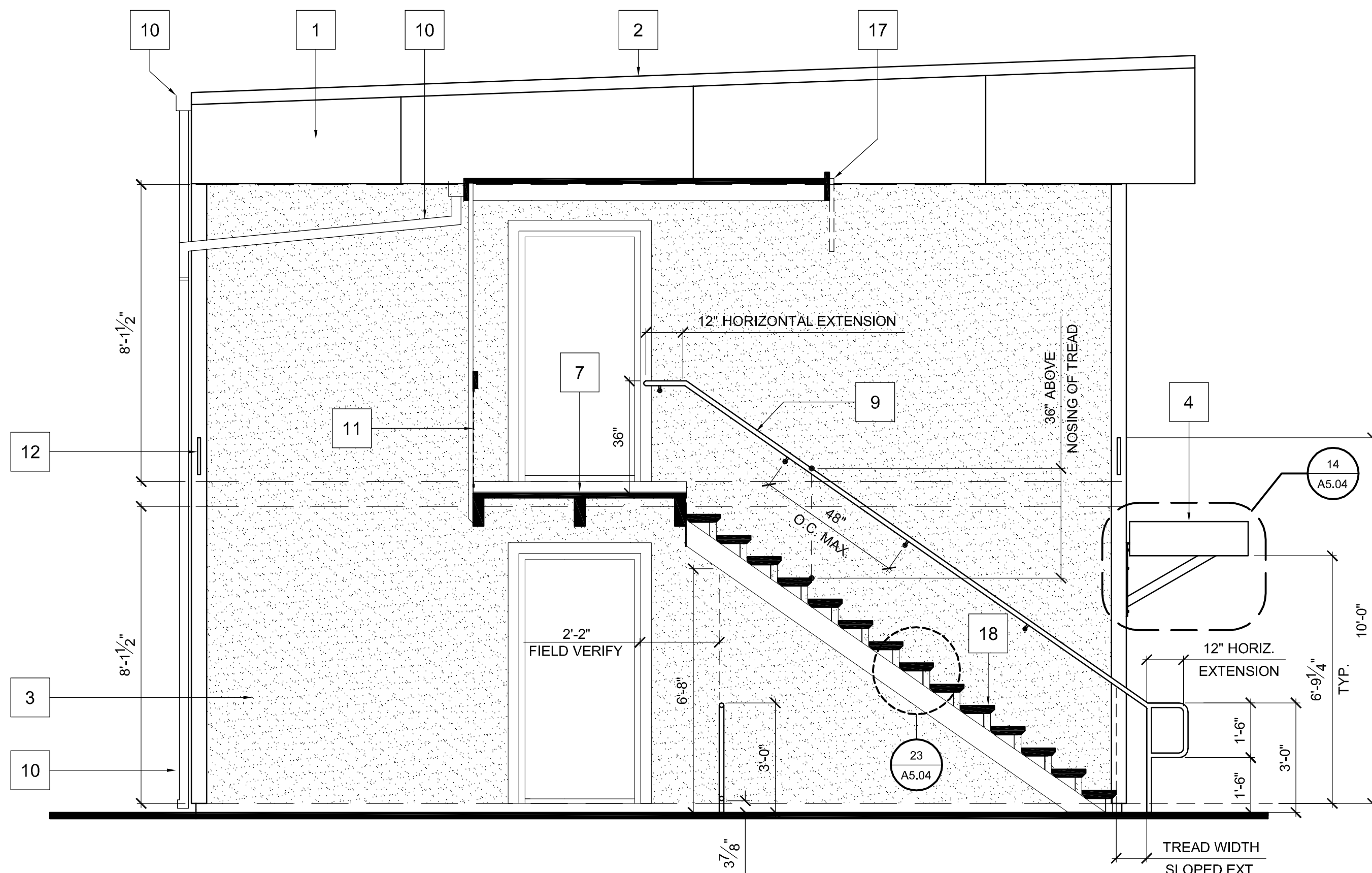
SHEET TITLE
**ENLARGED
ELEVATIONS**
(BUILDING 1, TYP.)

SCALE: 3/8"=1'-0"

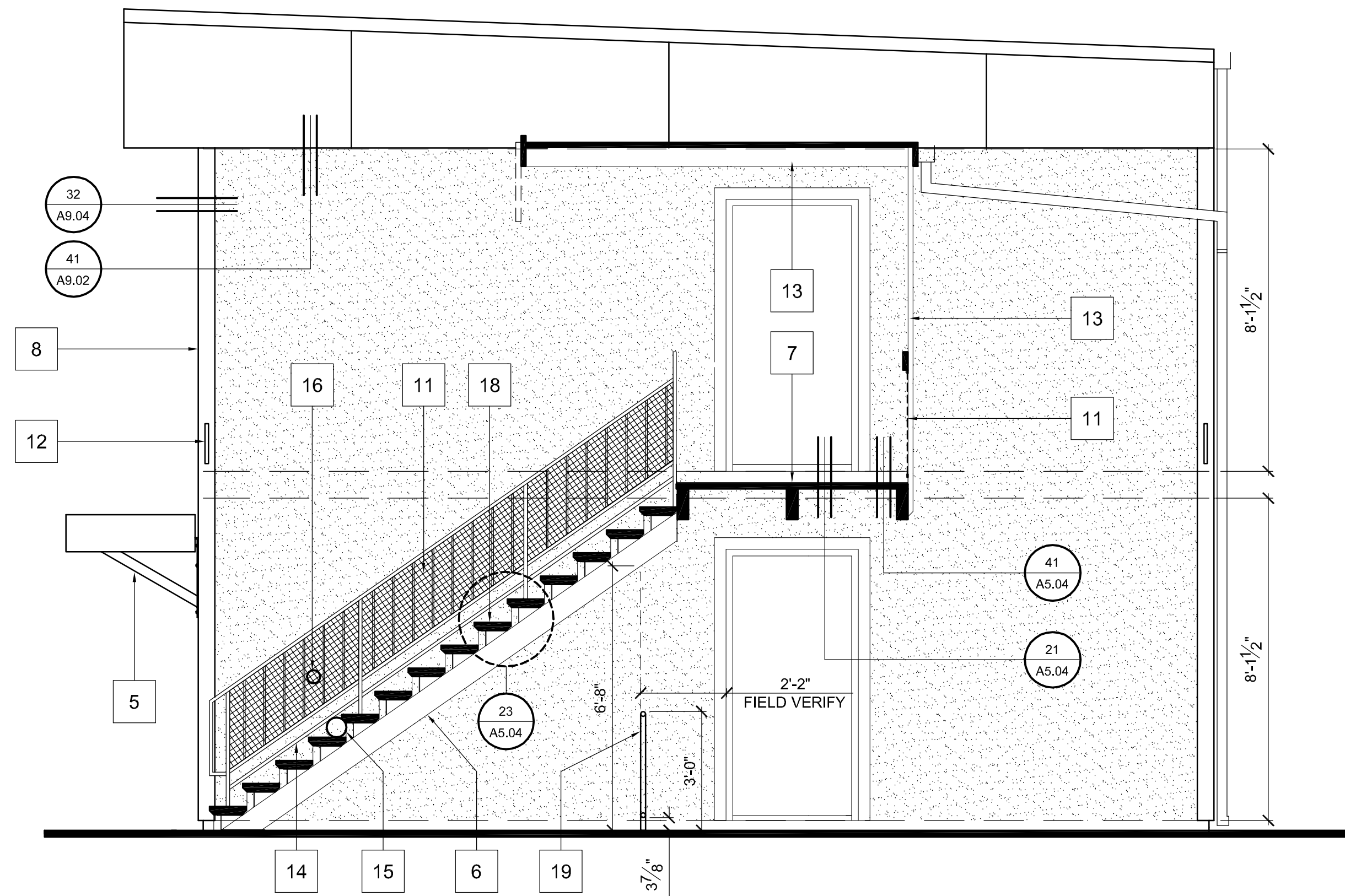
SHEET #

A5.02

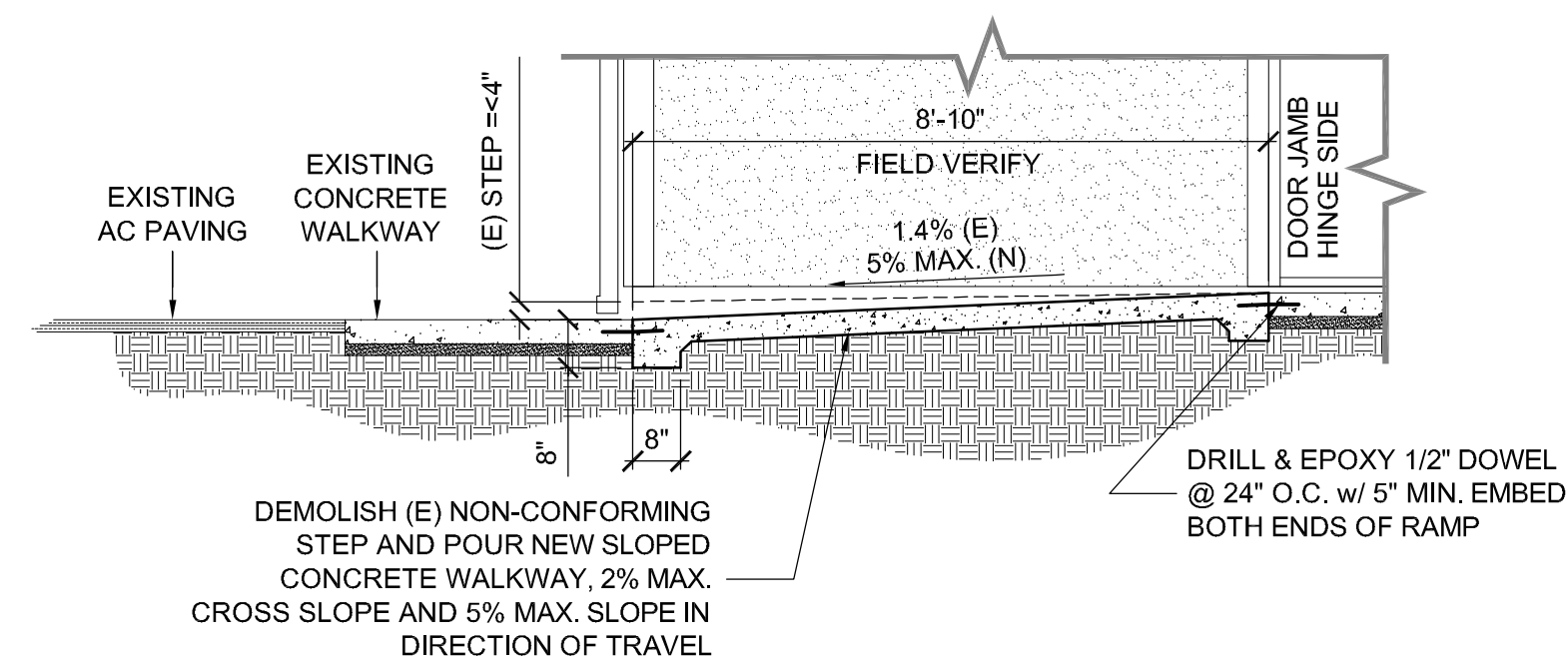
\\UHN\Madonna Rd Apts 1207\Drawings\0 - Drawing Sheets\A5.01 - Exterior Elevations.dwg, 10/3/2012 10:41:05 PM



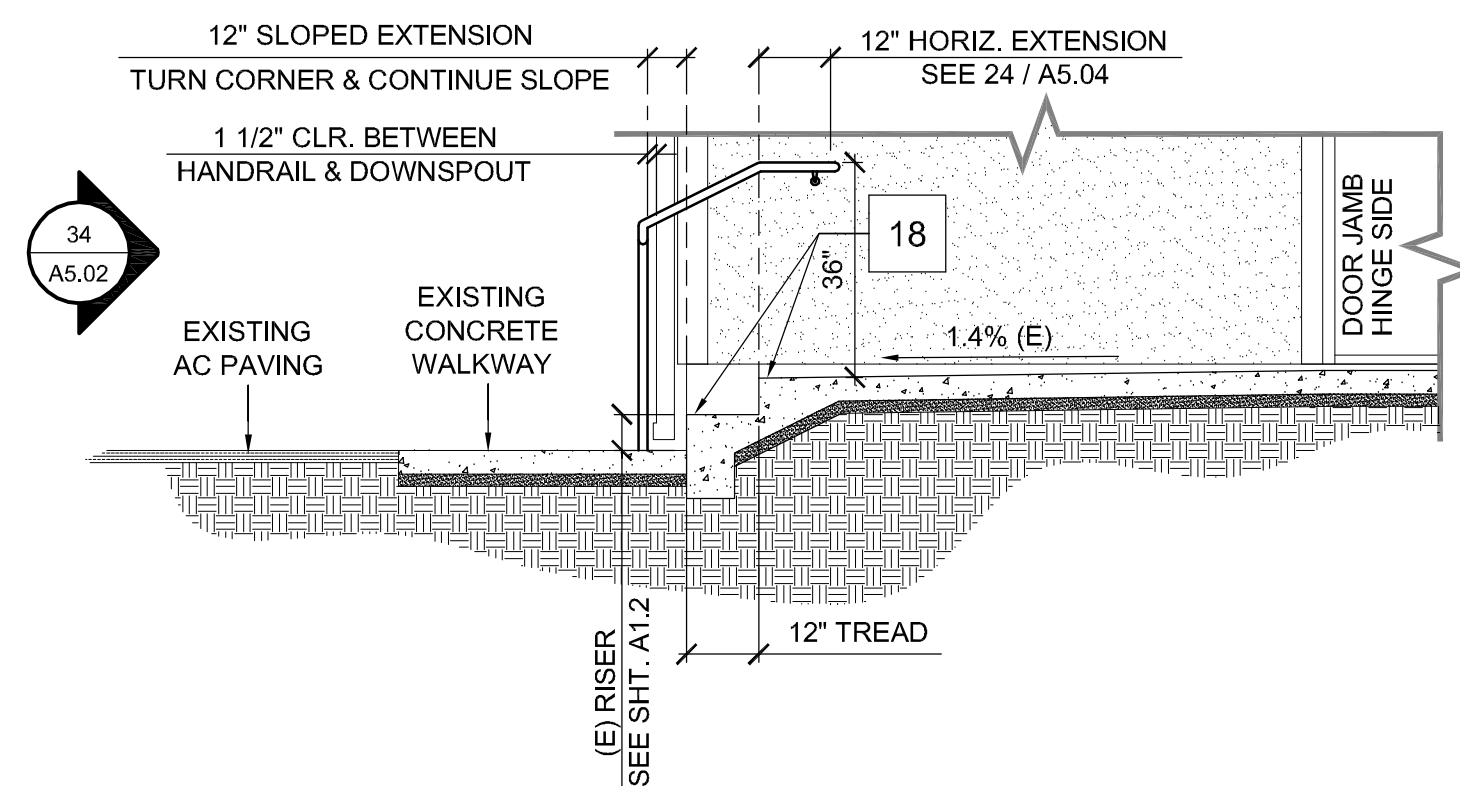
41 BREEZEWAY SECTION, TYPICAL
3/8"=1'-0"



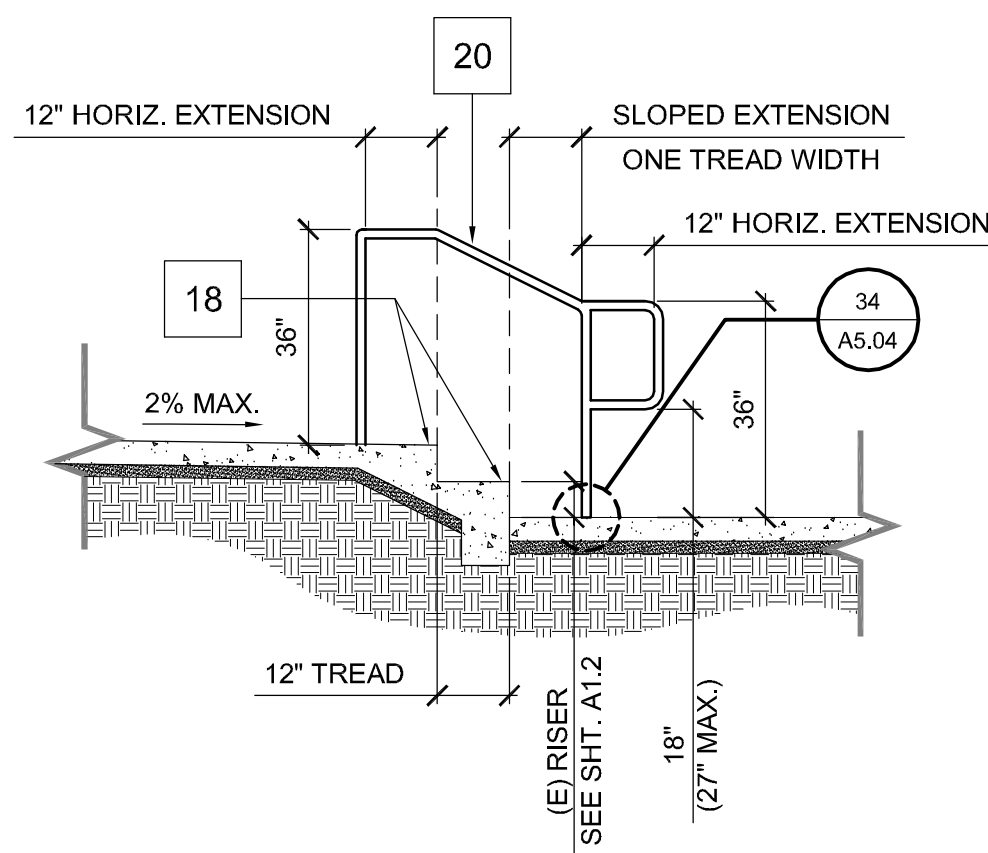
21 BREEZEWAY SECTION, TYPICAL
3/8"=1'-0"



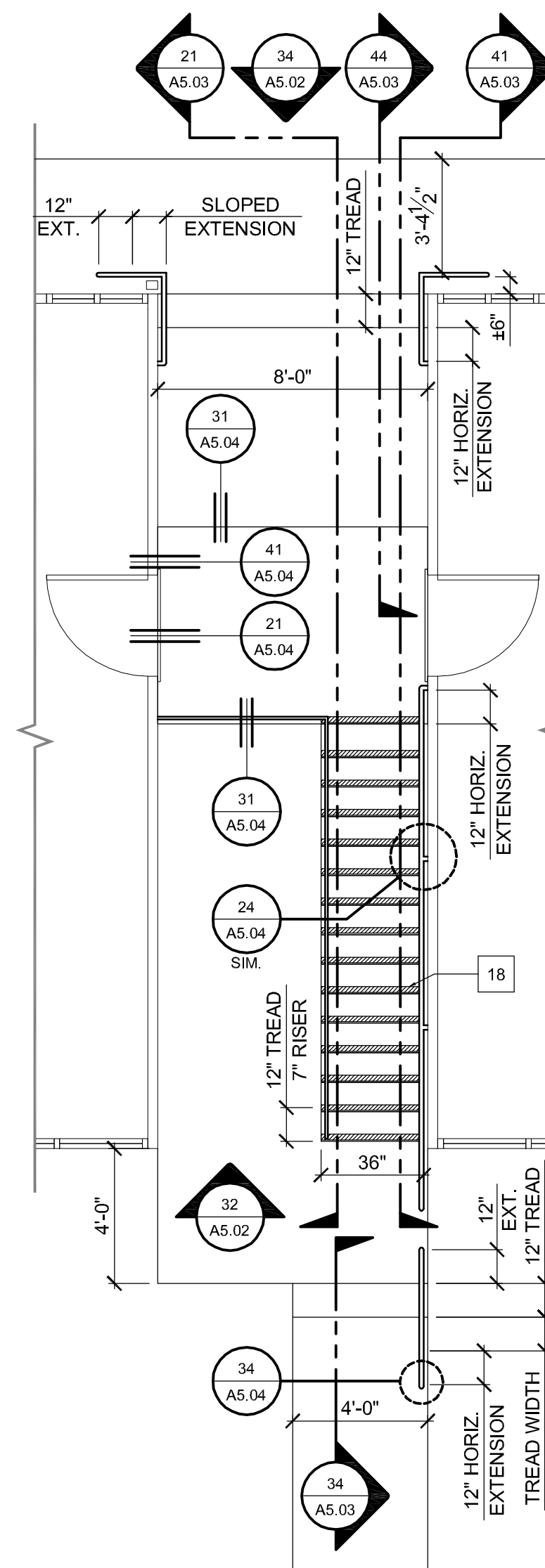
43 NEW SLOPED WALKWAY WHEN STEP < 4"
3/8"=1'-0"



44 HANDRAILS AT REAR OF BREEZEWAY
3/8"=1'-0"



34 STRAIGHT HANDRAIL
3/8"=1'-0"



24 BREEZEWAY PLAN, TYP.
1/4"=1'-0"

NEW ELEVATION KEYNOTES

- FASCIA & SOFFIT: HARDIE REVEAL PANEL SYSTEM COLORPLUS PREFINISHED 7/16" PANELS WITH ALUMINUM REVEALS. SEE SHEET **A9.02** FOR DETAILS.
- NEW SINGLE PLY ROOF, ALL ROOFS, SEE SHEET **A9.03** FOR DETAILS.
- PATCH AND COLORMATCH EXISTING 3-COAT STUCCO EXTERIOR AS DIRECTED BY EXTERIOR REPAIR MATRIX.
- NEW SOLAR SHADING DEVICE, FIBER CEMENT FASCIA TO MATCH BUILDING TRIM. SEE DETAIL **14 / A5.04**.
- ANGLE BRACE.
- REMOVE RUST AND RE-PAINT EXISTING STEEL STRINGERS.
- APPLY NEW WATERPROOF MEMBRANE TO ALL 2ND FLOOR LANDINGS.
- HARDITRIM COLORPLUS PREFINISHED, 3/4" x 3 1/2"
- NEW WALL MOUNTED HANDRAIL AT ALL STAIRWAYS. SEE DETAIL **24 / A5.04**. HANDRAIL ONLY PROVIDED ON ONE SIDE OF STAIRWAYS PER 2010 CBC SECTION 1009.12 EXCEPTION 2.
- REPLACE ALL EXISTING DOWNSPOUTS AND GUTTERS.
- 1 1/4" SQUARE BLACK VINYL COATED EXPANDED METAL MESH INFILL PANEL WITH 'U' EDGE TRIM ALL AROUND.
- ADDRESS SIGNAGE: 3" NUMBERS, FUTURA MEDIUM, ON 12"x12" PLAQUE, FLAG MOUNTED TO WALL OR CORNER TRIM.
- PAINT EXISTING 2x2 VERTICAL SLATS AND BREEZEWAY FRAMING WHITE TO MATCH TRIM.
- NEW 1" SQUARE HORIZONTAL RAIL., MATCH AND WELD TO EXISTING GUARDRAIL.
- THE TRIANGULAR OPENINGS AT THE OPEN SIDES OF A STAIR, FORMED BY AT THE RISER, TREAD AND BOTTOM RAIL SHALL NOT ALLOW PASSAGE OF A SPHERE 6" IN DIAMETER.
- GUARDRAILS SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER.
- EXISTING ADDRESS SIGNAGE TO BE REMOVED.
- PROVIDE PERMANENT NOSING MARKINGS OF STAIRS AND STEPS FOR THE VISUALLY IMPAIRED - 2" MINIMUM WIDE FOR THE FULL WIDTH OF TREAD WITH CONTRASTING COLOR AT EACH TREAD OF EXTERIOR STAIRWAY OR STEPS.
- NEW 36" WIDE SURFACE MOUNT GUARDRAIL FOR UNDERSIDE OF STAIRS, TYP.
- NEW 1 1/2" DIA. STEEL HANDRAIL WITH BLACK EXTERIOR ENAMEL PAINT. HANDRAIL PROVIDED ON ONE SIDE OF SITE STEPS WITH MORE THAN 1 RISER AND LESS THAN 5' WIDE BASED ON 2010 CBC SECTION 1003.5 EXCEPTION 2.

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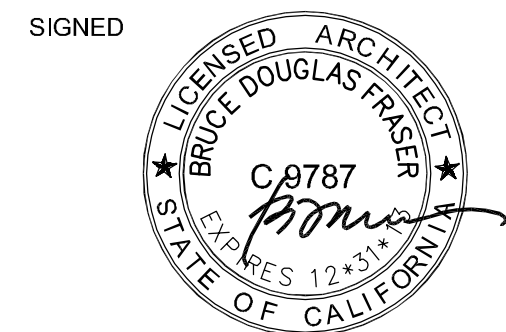
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PROJECT MANAGER BDF

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DATES 08-08-2012 1st SUBMITTAL
09-19-2012 1st RE-SUBMITTAL
10-05-2012 FOR CONSTRUCTION

SIGNED



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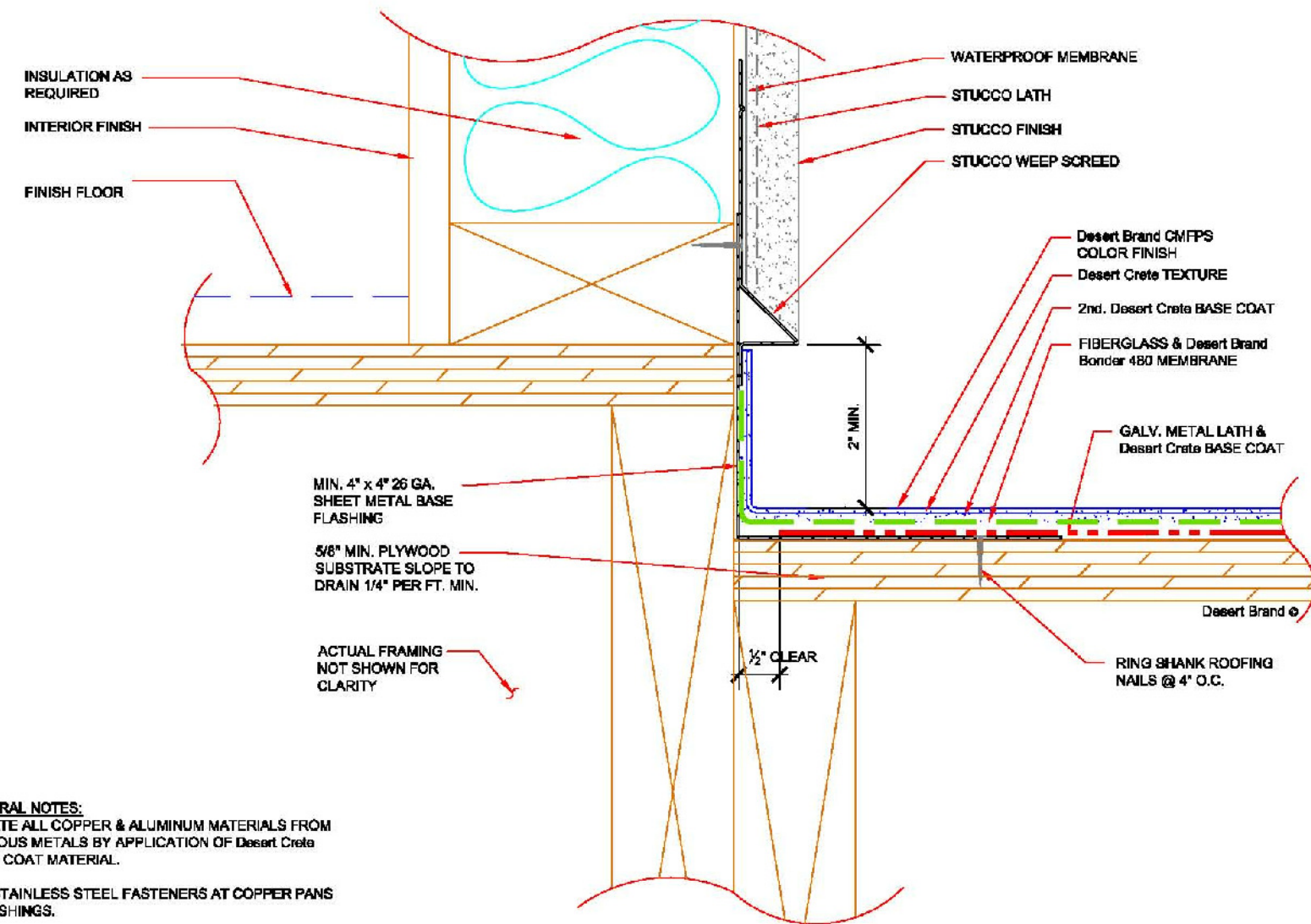
Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and existing conditions on the job and shall report any discrepancies to the architect for resolution prior to commencing work.

SHEET TITLE
ELEVATION DETAILS
(BREEZEWAYS)

SCALE: AS NOTED

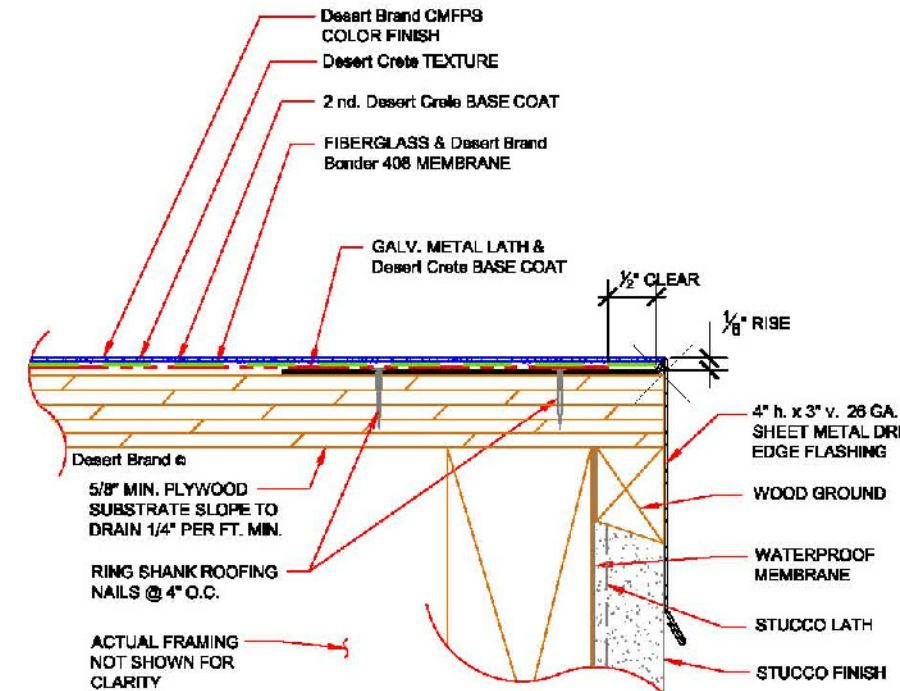
SHEET #

A5.03



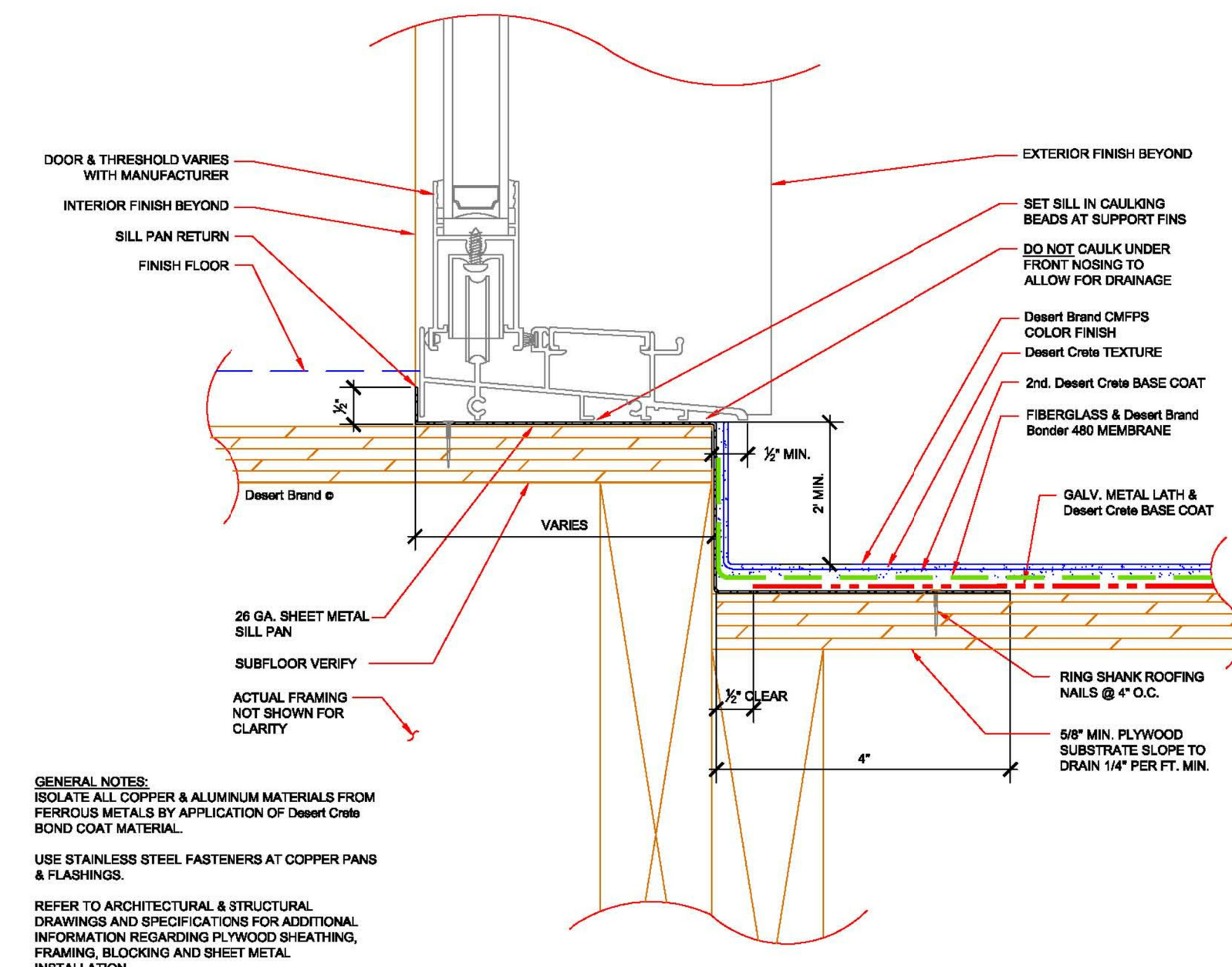
GENERAL NOTES:
ISOLATE ALL COPPER & ALUMINUM MATERIALS FROM FERROUS METALS BY APPLICATION OF Desert Crest BOND COAT MATERIAL.
USE STAINLESS STEEL FASTENERS AT COPPER PANS & FLASHINGS.
REFER TO ARCHITECTURAL & STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING PLYWOOD SHEATHING, FRAMING, BLOCKING AND SHEET METAL INSTALLATION.

41 TRAFFIC COATING: AT WALL
6"=1'-0"



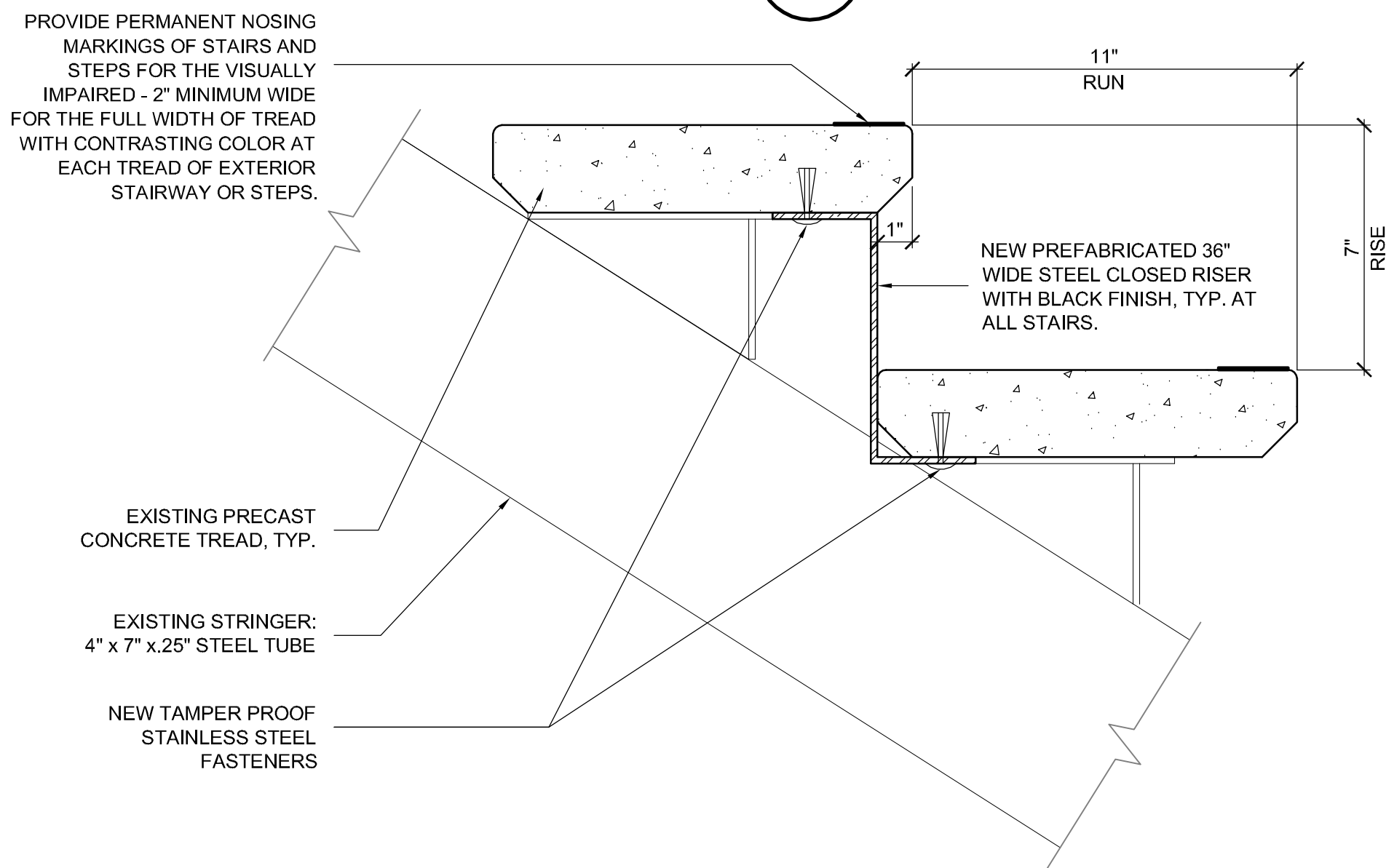
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31 TRAFFIC COATING: AT EDGE OF DECK
6"=1'-0"

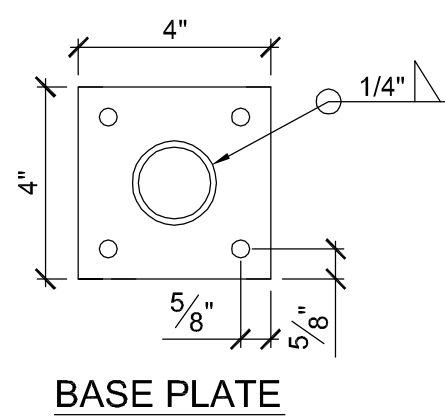


GENERAL NOTES:
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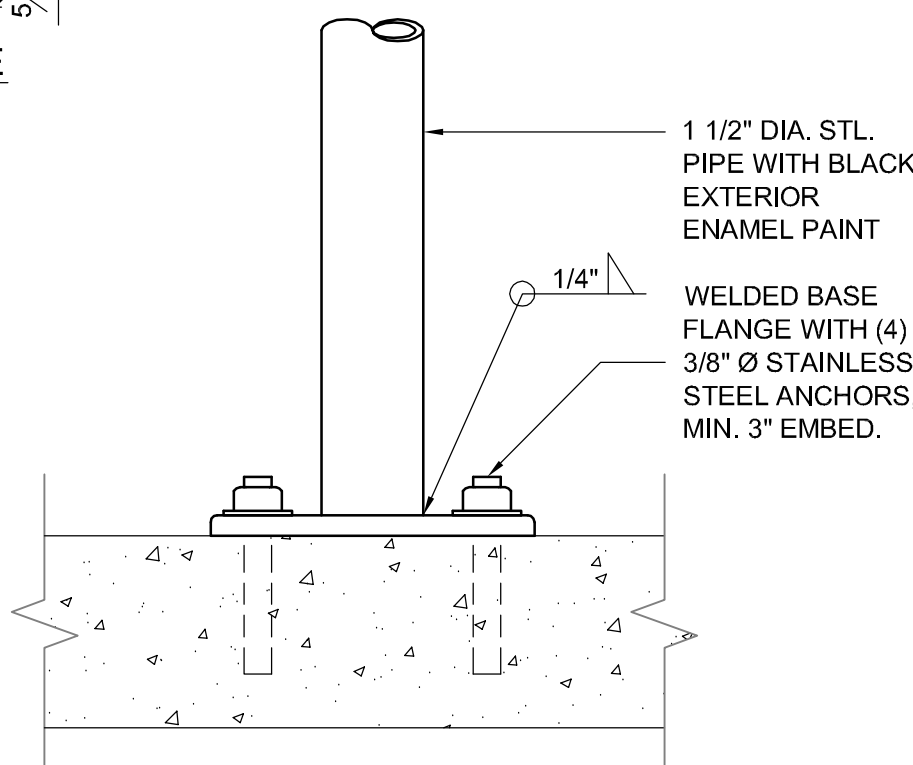
21 TRAFFIC COATING: AT THRESHOLD
6"=1'-0"



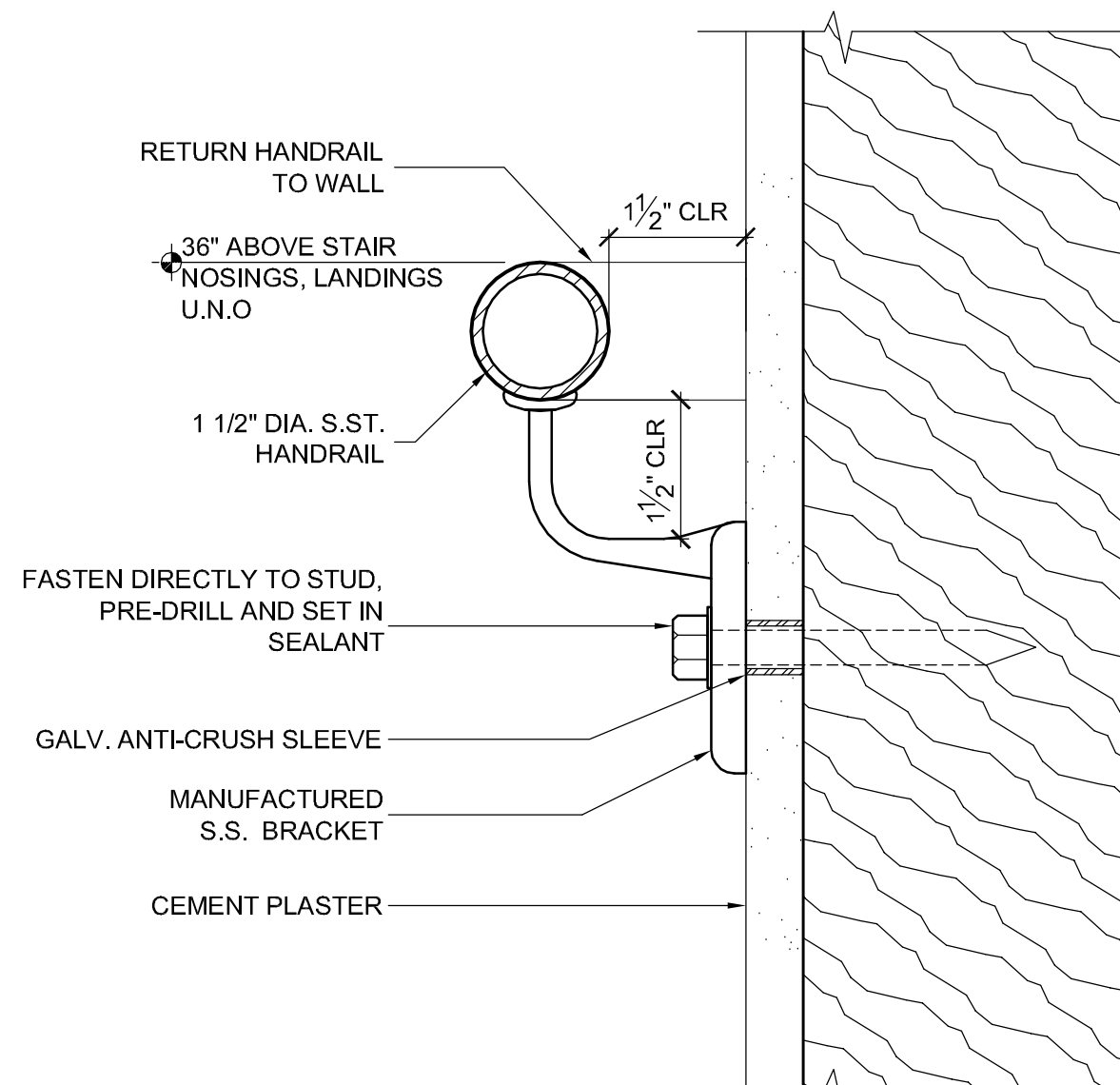
23 (E) PRECAST CONC. TREADS, ADD CLOSED RISERS
3"= 1' -0"



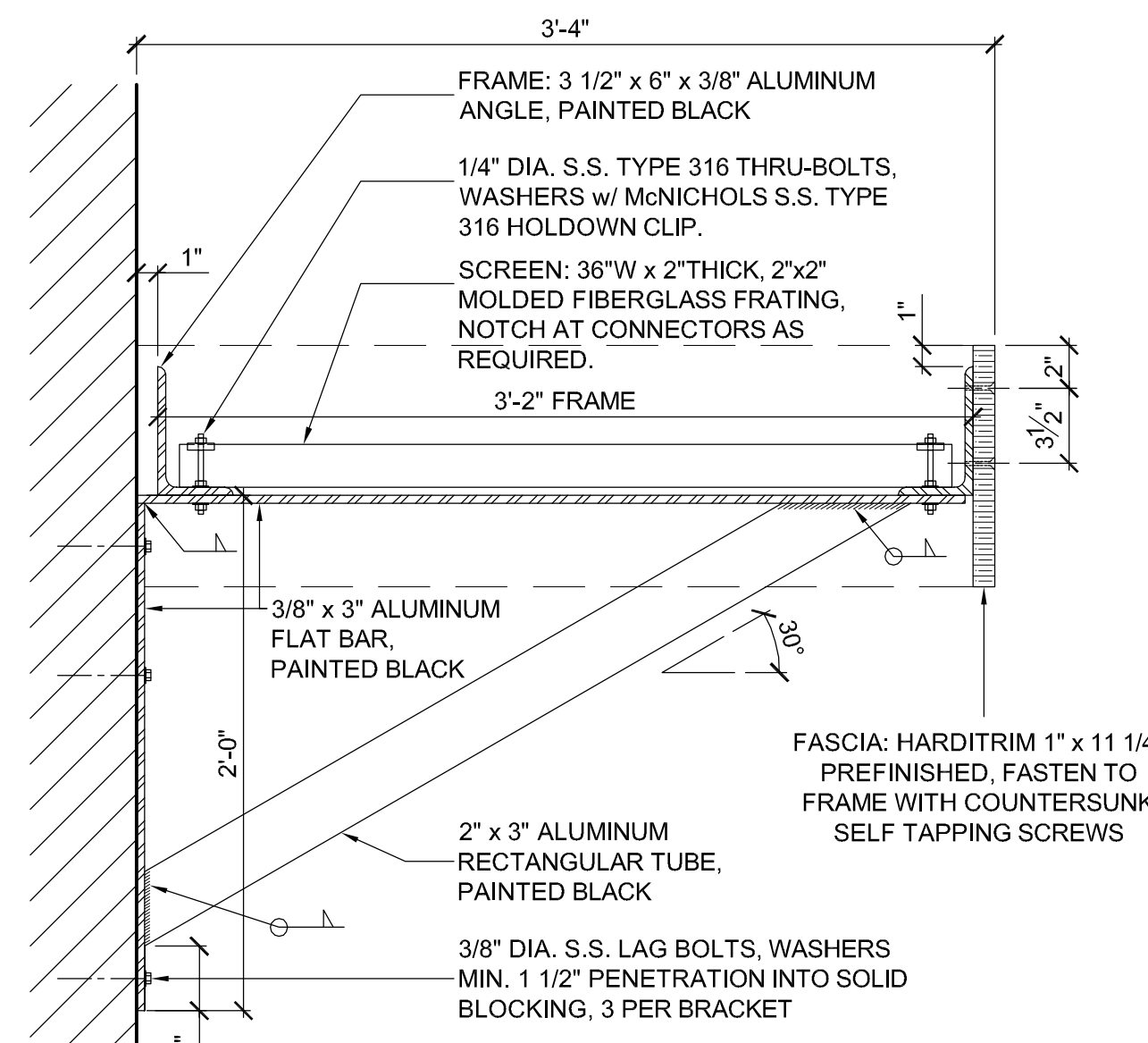
BASE PLATE



34 TYP. HANDRAIL TO CONC.
3"= 1' -0"



24 HANDRAIL BRACKET
6"=1'-0"



14 SUN CONTROL DEVICE
1 1/2"=1'-0"

PROJECT

MADONNA ROAD APARTMENTS

A RENOVATION AND UPGRADE PROJECT

1550 MADONNA ROAD
SAN LUIS OBISPO, CA

CLIENT JOB #

ARCHITECT JOB #

1207

FRASER
SEIPLE
ARCHITECTS

971 OSOS STREET
SAN LUIS OBISPO
CALIFORNIA 93401

805-544-6161

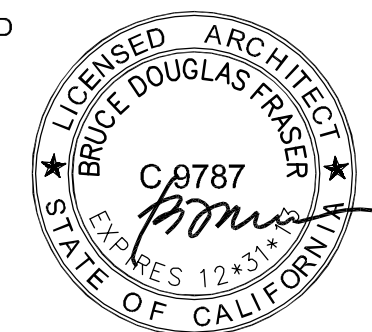
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SHEET TITLE
ELEVATION
DETAILS

SCALE: AS NOTED

SHEET #

A5.04

\\UOH\Madonna Rd Apts 1207\Drawings\0 - Drawing Sheets\A8.01 - Interior Unit Matrix.dwg, 10/3/2012 10:42:11 PM

			Unit														Kitchen					Bathroom										Misc. Notes			
	Unit #	Unit Type	Bed Rooms	Bath Rooms	Exterior Door	Door Hardware	Carpet	Light Fixtures	Blinds	Smoke Detectors	Paint	Drywall Repairs	Interior Door	Closet Doors	Switches Trim & Receptacles	Wall Heaters	Misc.	Kitchen Cabinets	Kitchen Light Fixture	GFC's	Paint	Stove	Hood	Vinyl Plank Flooring	Refer	Tub / Surround	Toilet	Vanity	GFC's	Paint	Grab Bars		Toilet Paper Dispenser	Towel Bar	Vinyl Plank Flooring
Building 1	111 C	3	1.5					1	1						1			1	2	1			1	1	1	2	1	2	1	1	2	2	1	Bathroom Base/Drywall Patch Bath / Kitchen Base	
	112 B	2	1					1	1						1			1	2	1			1	1	1	1	1	1	1	1	1	1	1	Paint Hall Cabinets	
	113 B	2	1					1	1							1		1	2	1			1	1	1	1	1	1	1	1	1	1	1	Water Heater Door / Door Stops	
	114 B	2	1					1	1									1	2	1			1	1	1	1	1	1	1	1	1	1	1	Leaking Tub above / Bedroom Closet Doors	
	115 B	2	1		1			1	1						1			1	2	1			1	1	1	1	1	1	1	1	1	1	1		
	116 C	3	1.5					1	1						1			1	2	1			1	1	1	2	1	2	1	2	2	1			
	117 B	2	1	1	1			1	1						1			1	2	1			1	1	1	1	1	1	1	1	1	1	1	Paint Hall Cabinets	
	118 B	2	1	1	1			1	1									1	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	Replace Smoke Alarm / Replace Attic Access / Missing Closet Doors	
	119 B	2	1					1	1						1			1	2	1			1	1	1	1	1	1	1	1	1	1	1	Door Stops	
120 B	2	1					1	1						1			1	2	1			1	1	1	1	1	1	1	1	1	1	1	1	Paint Hall Cabinets / Replace Attic Access / Door Stops	
Building 2	105 C	3	1.5					1	1						1			1	2	1	1	1	1	1	2	1	2	1	2	2	2	1			
	106 C	3	1.5					1	1									1	2	1			1	1	2	1	2	1	2	2	2	1			
	107 C	3	1.5					1	1						1	1		1	2	1			1	1	2	1	2	1	2	2	1			Water Damage in Bedroom Ceiling / Door Stops	
	108 C	3	1.5					1	1						1			1	2	1			1	1	2	1	2	1	2	2	1				
	109 C	3	1.5					1	1						1	1		1	2	1			1	1	2	1	1	1	1	1	1	1	1	Missing one wall heater completely. (It has been removed & drywalled over.)	
	110 C	3	1.5					1	1						1			1	2	1			1	1	1	2	1	2	1	2	2	1		Replace Bathroom Door / Bathroom Base / Damaged Subfloor	
Building 3	97 B	2	1	1	1			1	1				1					1	2	1			1	1	1	1	1	1	1	1	1	1	1	1	Leaking Tub Above
	98 B	2	1					1	1									1	2	1			1	1	1	1	1	1	1	1	1	1	1	Full Interior paint	
	99 B	2	1					1	1		1	1	1	1	1	1	1	1	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	Door Stops	
	100 B	2	1					1	1						1	1		1	2	1			1	1	1	1	1	1	1	1	1	1	1	Replace bathroom faucet	
	101 B	2	1					1	1					2	1	1		1	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1		
	102 B	2	1	1	1			1	1						1			1	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1		
	103 B	2	1	1	1			1	1		1	1	1	1	1	1		1	2	1			1	1	1	1	1	1	1	1	1	1	1	Bathroom Base / Paint Hall Cabinets / Door Stops	
	104 B	2	1	1	1			1	1					1	1	1		1	2	1			1	1	1	1	1	1	1	1	1	1	1	Replace Attic Access / Paint Hall Cabinets / Door Stops	
Building 4	93 A	1	1					1	1		1	1	1	1	1	1		1	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	Paint Hall Cabinets	
	94 A	1	1					1	1						1			1	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	Paint Hall Cabinets	
	95 A	1	1					1	1						1	1		1	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1		
	96 A	1	1	1	1			1	1						1			1	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	Paint Hall Cabinets	
Building 5	89 B	2	1					1	1					1	1	1		1	2	1			1	1	2	1	1	1	1	1	1	1	1	Paint Hall Cabinets / Patch Ceiling in Hallway / Door Stops	
	90 B	2	1					1	1					1	1	1		1	2	1			1	1	2	1	1	1	1	1	1	1	1		
	91 B	2	1	1	1			1	1					1	1			1	2	1			1	1	2	1	1	1	1	1	1	1	1		
	92 B	2	1					1	1						1			1	2	1			1	1	2	1	1	1	1	1	1	1	1	Door Stops / Paint Hall Cabinets / Attic Access	
Building 6	81 C	3	1.5					1	1						1			1	2	1			1	1	1	2	1	2	1	2	2	1			
	82 C	3	1.5	1	1			1	1									1	2	1			1	1	2	1	2	1	2	2	1			Bathroom Base	
	83 D	4	1.5	1	1			1	1						1			1	2	1	1	1	1	1	2	1	2	1	2	2	1			Replace exterior door frame	
	84 D	4	1.5	1	1			1	1		1	1	1	1	1	1	1	1	2	1	1	1	1	1	2	1	2	1	2	2	1			Patch Ceiling in Hallway	
	85 C	3	1.5					1	1						2			1	2	1	1	1	1	1	2	1	2	1	2	2	1			Replace attic access hatch	
	86 C	3	1.5	1	1			1	1						2	1		1	2	1	1	1	1	1	2	1	2	1	2	2	1			Patch Ceiling in Closet	
Building 7	87 D	4	1.5	1	1			1	1				1	1	1	1		1	2	1			1	1	2	1	2	1	2	2	1				
	88 D	4	1.5					1	1						1	1	1	1	2	1	1	1	1	1	2	1	2	1	2	2	1				
	73 B	2	1					1	1						1			1	2	1			1	1	1	1	1	1	1	1	1	1	1	Paint Hall Cabinets	
	74 B	2	1					1	1						1	1	1	1	2	1			1	1	1	1	1	1	1	1	1	1	1		
	75 B	2	1					1	1					1	1	1		1	2	1			1	1	1	1	1	1	1	1	1	1	1		
	76 B	2	1					1	1						1			1	2	1			1	1	1	1	1	1	1	1	1	1	1	Paint Hall Cabinets / Door Stops	
	77 B	2	1	1				1	1						1	1	1	1	2	1			1	1	1	1	1	1	1	1	1	1	1		
	78 B	2	1					1	1						1	1		1	2	1			1	1	1	1	1	1	1	1	1	1	1	Paint Hall Cabinets	
Building 8	79 B	2	1	1	1			1	1					1	1			1	2	1			1	1	1	1	1	1	1	1	1	1	1	1	Replace Attic Access
	80 B	2	1					1	1						1			1	2	1			1	1	1	1	1	1	1	1	1	1	1		
Building 9	Maintenance Shed																																		
	67 C	3	1.5		1			1	1						1			1	2	1			1	1	1	2	1	2	1	2	2	1		Add Seismic Strap to Water Heater	
	68 C	3	1.5					1	1						1	1		1	2	1			1	1	2	1	2	1	2	2	1				
	69 D	4	1.5					1	1						1			1	2	1			1	1	2	1	2	1	2	2	1				
	70 C	3	1.5					1	1					1	1	1		1	2	1			1	1	1	2	1	2	1</						

\\UCHN\Madonna Rd Apts 1207\Drawings\0 - Drawing Sheets\A8.01 - Interior Unit Matrix.dwg, 10/3/2012 10:42:43 PM

Location											Exterior Defects											
	Unit #	Unit Type	Bed Rooms	Bath Rooms	Plaster / Screed Separation / Spalling	Bent / Separating Roof Flashing	Crack in Plaster	Warping / Damaged T1-11	Disconnected Door Drip	Damaged Downspout	Bent Gutter Along Roof Edge	Moss on Utility Room Roof	Rusted Door Frame / Hinges (Utility Closets)	Damaged Deck Plywood	Exposed Uncapped Beam	Unprotected Utility Pipes	Damaged / Separated Trim	Leaking gutter Seam	Damaged Soffit Vent	Paint Mismatch / Overspray	Fire Extinguisher Cabinet (Broken Glass)	Damaged Wall Vent
Building 1	111 / 116 C		3	1.5		S	S,E	W		NE					E,W							
	112 / 117 B		2	1			N	S		NE	N											
	113 / 118 B		2	1			N	N		NW		NE										
	114 / 119 B		2	1		S				NE		NW										
	115 / 120 B		2	1	N		NW	S		NW												
Building 2	105 / 108 C		3	1.5				W		SW			W	N	E,W							
	106 / 109 C		3	1.5				W		SW												
	107 / 110 C		3	1.5			S	S,W		NW	W											
Building 3	97 / 101 B		2	1				W	S	SE												
	98 / 102 B		2	1				S		SW			SE									
	99 / 103 B		2	1						SE			SW									
	100 / 104 B		2	1						SW	S											
Building 4	93 / 95 A		1	1			N,W															
	94 / 96 A		1	1		S		S,W		SW												
Building 5	89 / 91 B		2	1				S		NE,NW		N	N									
	90 / 92 B		2	1				S,E														
Building 6	81 / 85 C		3	1.5						SE												
	82 / 86 C		3	1.5				S		SW							S					
	83 / 87 D		4	1.5				W	S	SW						W						W
	84 / 88 D		4	1.5			W	W		NW												S
Building 7	73 / 77 B		2	1		E	W	S,W		NW,SW							N	W				
	74 / 78 B		2	1		E		W					SW				W	SW				
	75 / 79 B		2	1				W		SW								NW				
	76 / 80 B		2	1				S,W														
Building 8	Maintenance Shed				S,W																	
Building 9	67 / 70 C		3	1.5		E													E	S		
	68 / 71 C		3	1.5			S						N									
	69 / 72 D		4	1.5						NE					E,W				W	S		
Building 10a	58 / 64 D		4	1.5	W			S														
	59 / 65 C		3	1.5	N,S					NE							SW	N				E
	60 / 66 C		3	1.5	W					SE							W					
Building 10	55 / 61 C		3	1.5	N			W		NW,SW									E			W
	56 / 62 C		3	1.5						NW			W				W,SE	W	SE	N	N	
	57 / 63 D		4	1.5						N,NW												
Building 11	49 / 52 B		2	1	E,SW							N	N				SW		W			
	50 / 53 C		3	1.5	S	S		N,S		N,NE												
	51 / 54 C		3	1.5	N,E,S		N	S		NW												
	41 / 45 D		4	1.5		S		S,E		NE						E						
Building 12	42 / 46 D		4	1.5				S		SE												
	43 / 47 C		3	1.5		E		N,S		SE									SW			
	44 / 48 C		3	1.5	S			S		SE,SW												
Building 13	37 / 39 D		4	1.5	S,E			W		SE												
	38 / 40 B		2	1	E			W		NE,SE			E				N,W		W			
Building 14	33 / 35 B		2	1	W			S,W											W			
	34 / 36 B		2	1				S									N		S			
Building 15	29 / 31 A		1	1			S	S,W		NE,SE												
	30 / 32 A		1	1	S	S	N	W		NE,SE			E				E,W					
Building 16	21 / 25 B		2	1	W			N		SW							W					S
	22 / 26 B		2	1				S		SW												
	23 / 27 B		2	1				N		SE			S				S					
	24 / 28 B		2	1	S,E		S	N,S	S	SW												
Building 17	07 / 14 A		1	1				S		NE,NW												
	08 / 15 A		1	1				S		NW												
	09 / 16 A		1	1				S														
	10 / 17 A		1	1				S		NW									S			
	11 / 18 A		1	1				N,S		NE			NE	NW			S					
	12 / 19 A		1	1													S					N
Building 18	13 / 20 C		3	1.5				S		NW					E,W							
	01 / 04 C		3	1.5	E					NE									W			E
	02 / 05 C		3	1.5	NE,E	NW,E					E		E									E
Building 19	03 / 06 C		3	1.5	E,SE	SW,W		W							E,W		NE					E
	Recreation									N,E,S,W						N,E						

- Defects that occur at all buildings and are therefore not listed above include the following:
- Worn deck finish at upper floor landings
 - Peeling / cracking paint on exposed face of building slabs
 - Peeling / cracking powder coat & rust at steel stair stringers
 - Rust on exposed bolt heads supporting vertical slats at upper floor landings
 - Building cleanouts do not extend beyond face of plaster, allowing water to enter the walls
 - Separation between plaster and wall penetrations (vents and utilities) allow water to enter walls

PROJECT

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ROAD
APARTMENTS

A RENOVATION AND
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SAN LUIS OBISPO, CA

CLIENT JOB # ARCHITECT JOB #
1207



971 OSOS STREET
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805-544-6161

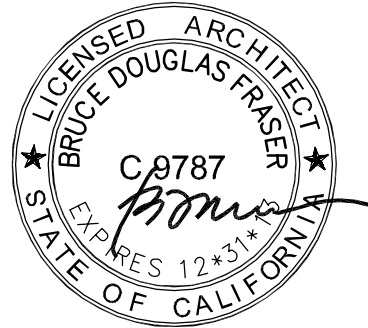
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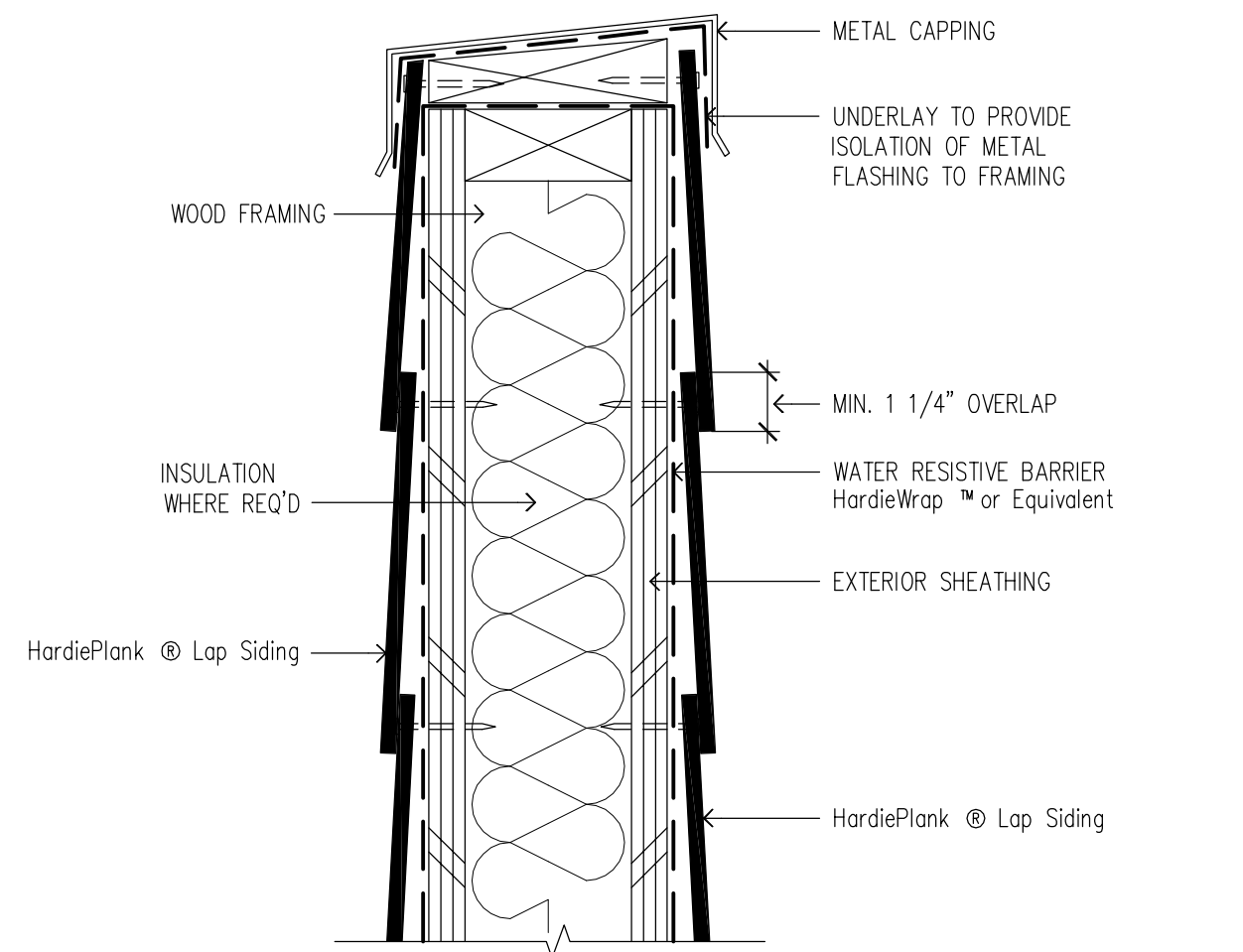
SHEET TITLE

EXTERIOR
REPAIR MATRIX

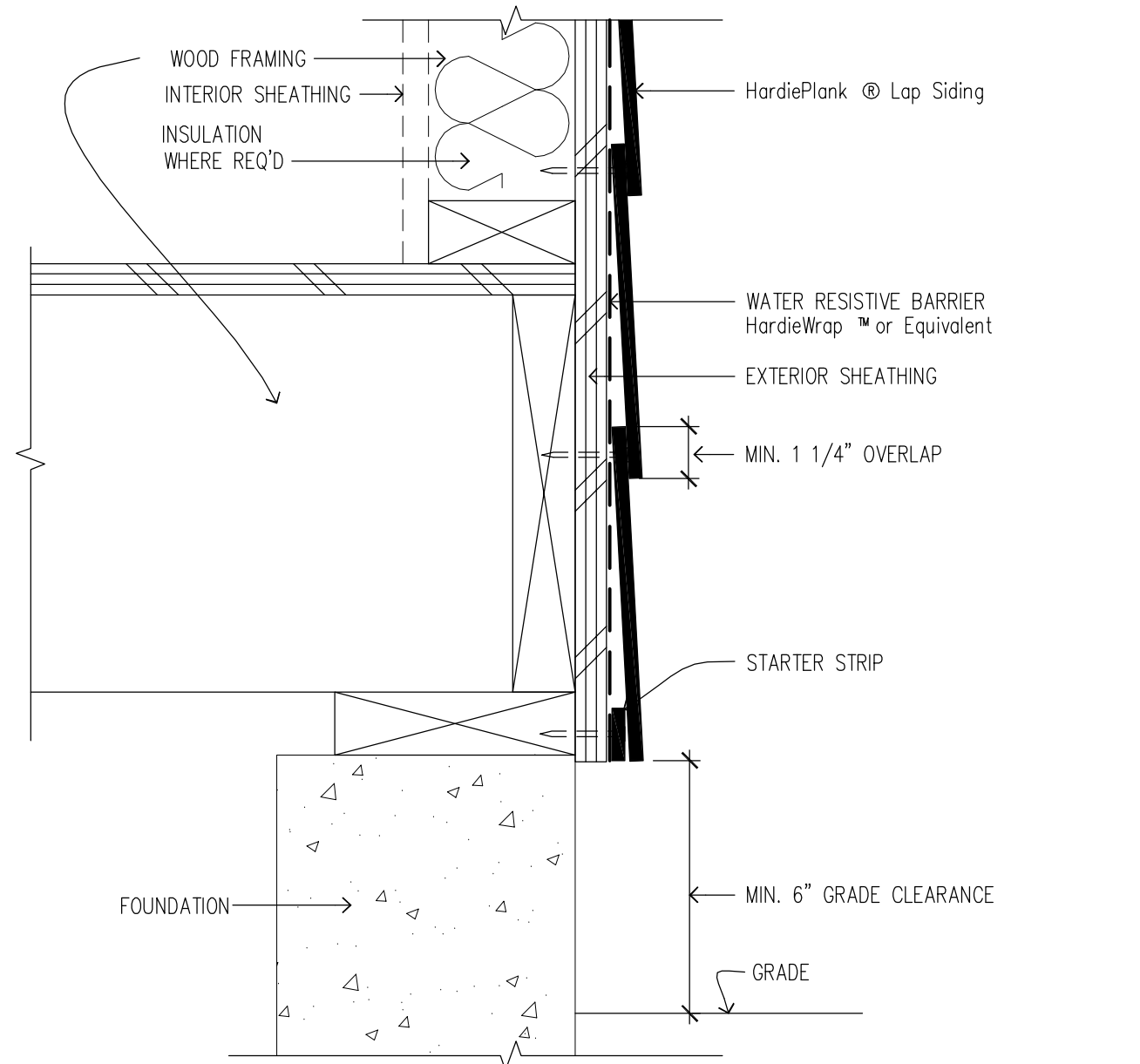
SHEET #

A8.02

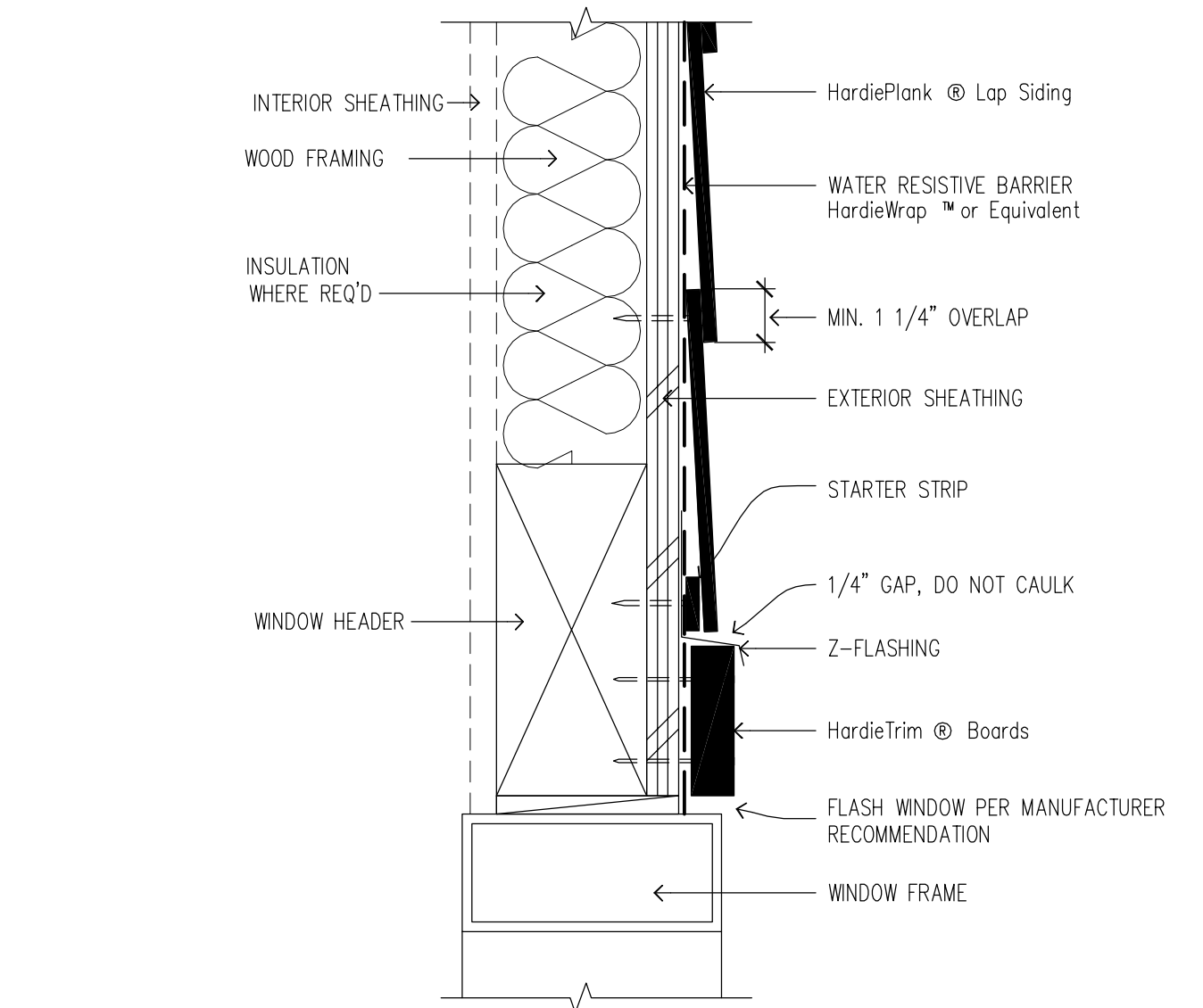
U:\CHN\Madonna Rd Apts 1207\Drawings\0 - Drawing Sheets\A9.01 - Details [Lap Siding].dwg, 10/2/2012 10:43:45 PM



31 PARAPET
SCALE: 3"=1'-0"

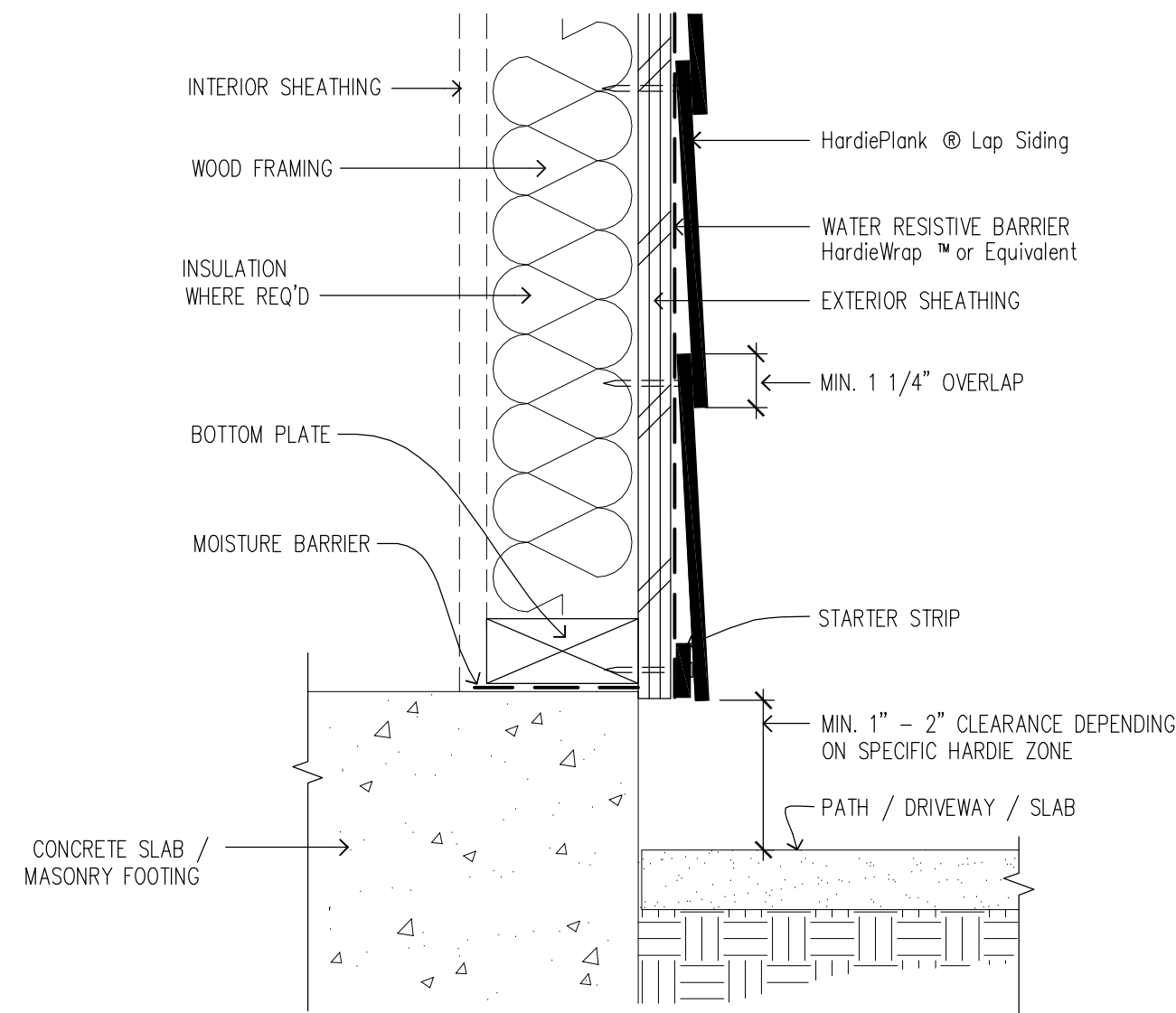


21 GRADE CLEARANCE
SCALE: 3"=1'-0"

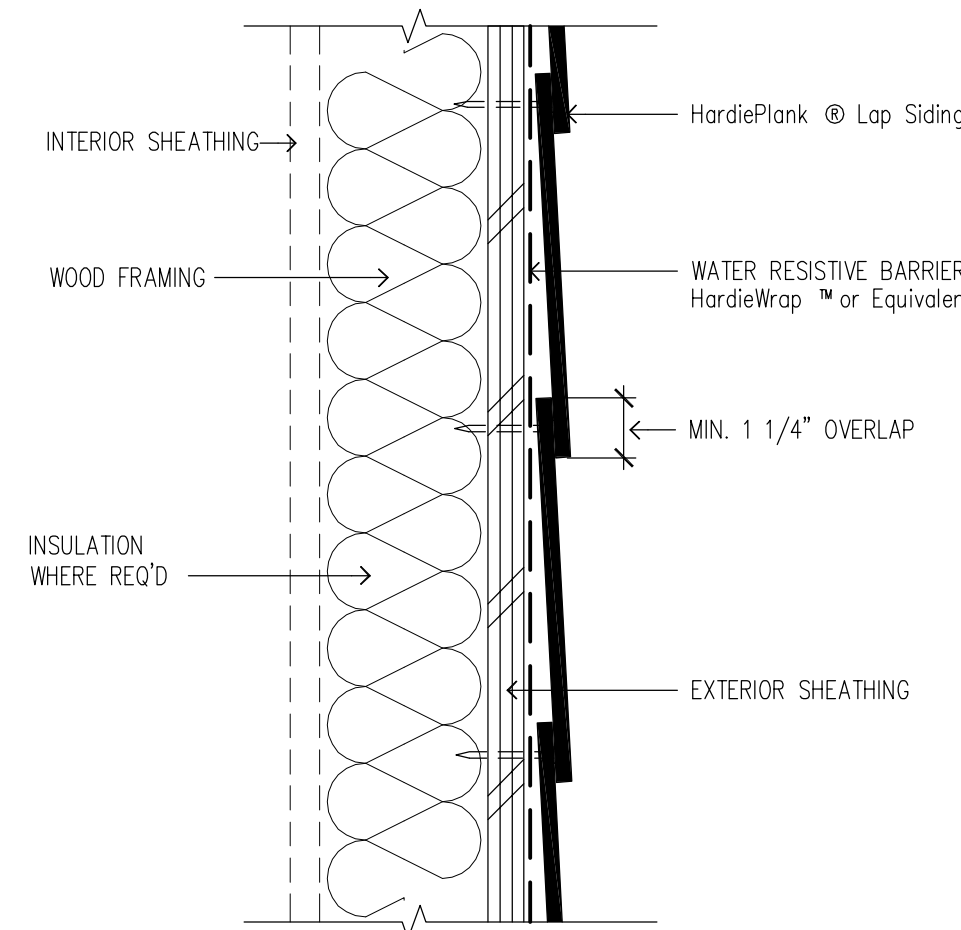


11 WINDOW/DOOR HEAD
SCALE: 3"=1'-0"

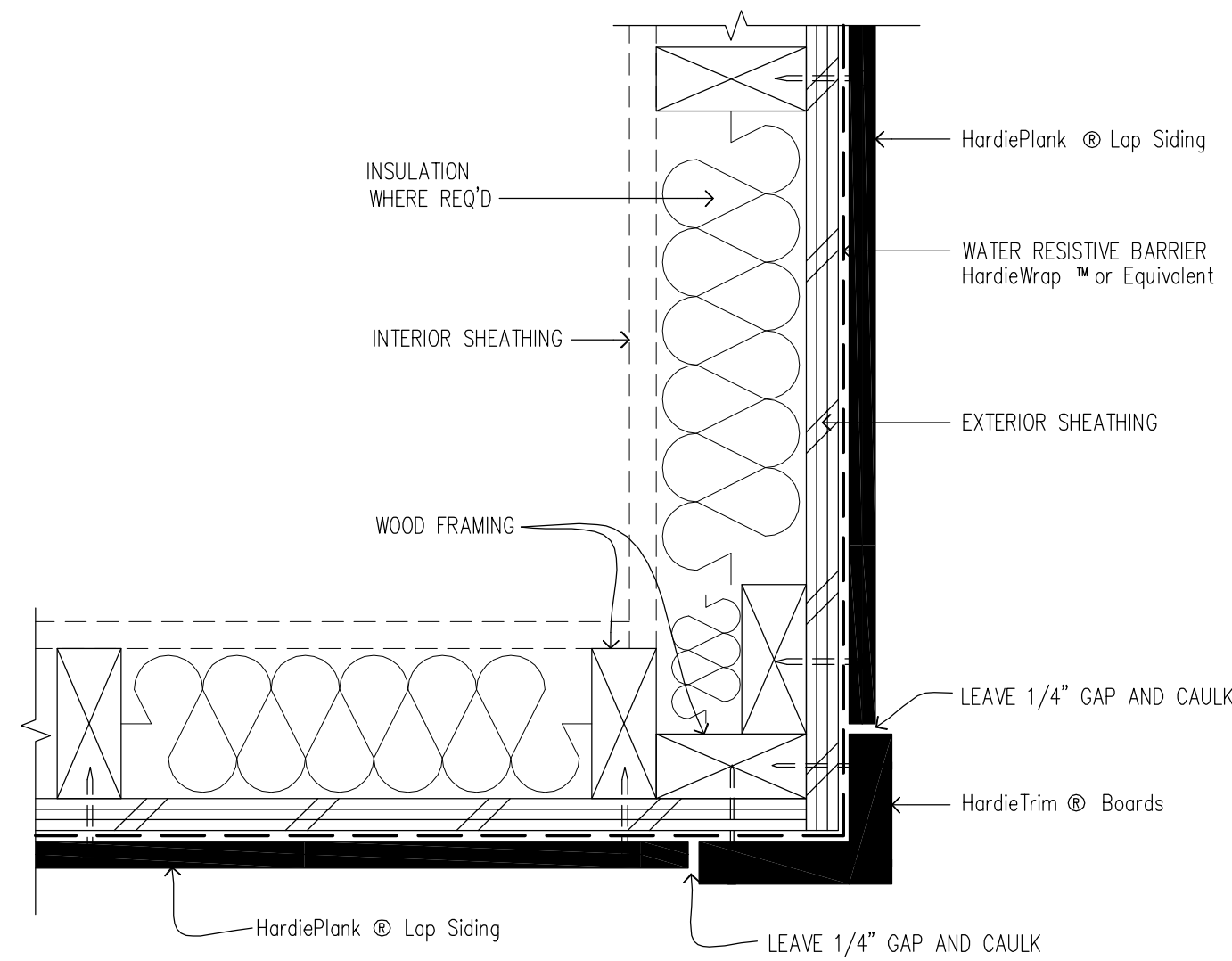
1. INSPECT ALL EXISTING PLYWOOD SIDING FOR WATER AND TERMITE DAMAGE. REMOVE DAMAGED SIDING AND INSPECT EXTERIOR GRADE GYPSUM BOARD BELOW.
2. REPLACE DAMAGED PLYWOOD SIDING WITH NEW EXTERIOR GRADE PLYWOOD SHEATHING OF EQUAL THICKNESS.
3. REPLACE DAMAGED EXTERIOR GRADE GYPSUM BOARD WITH EXTERIOR GRADE PLYWOOD SHEATHING OF EQUAL THICKNESS.
4. IF EXISTING PLASTER GROUNDS AND NAILERS ARE REMOVED DUE TO DAMAGE, APPLY NEW SELF-ADHERED ELASTOMERIC FLASHING OVER EXISTING WEATHER BARRIER PRIOR TO INSTALLING NEW PLASTER GROUNDS / NAILERS.
5. IF WATER INTRUSION IS EVIDENT AROUND EXISTING WINDOW FRAME, REMOVE FRAME COMPLETELY AND REPAIR SURROUNDING FRAMING AS NECESSARY. REMOVE EXTERIOR MATERIALS TO THE EXTENT NECESSARY TO INSTALL NEW WINDOW HEAD, JAMB AND SILL FLASHING.



32 HARDSCAPE CLEARANCES, DECKS, PORCHES, PATIOS, WALKWAYS, ROOFS, ETC.
SCALE: 1/2"=1'-0"

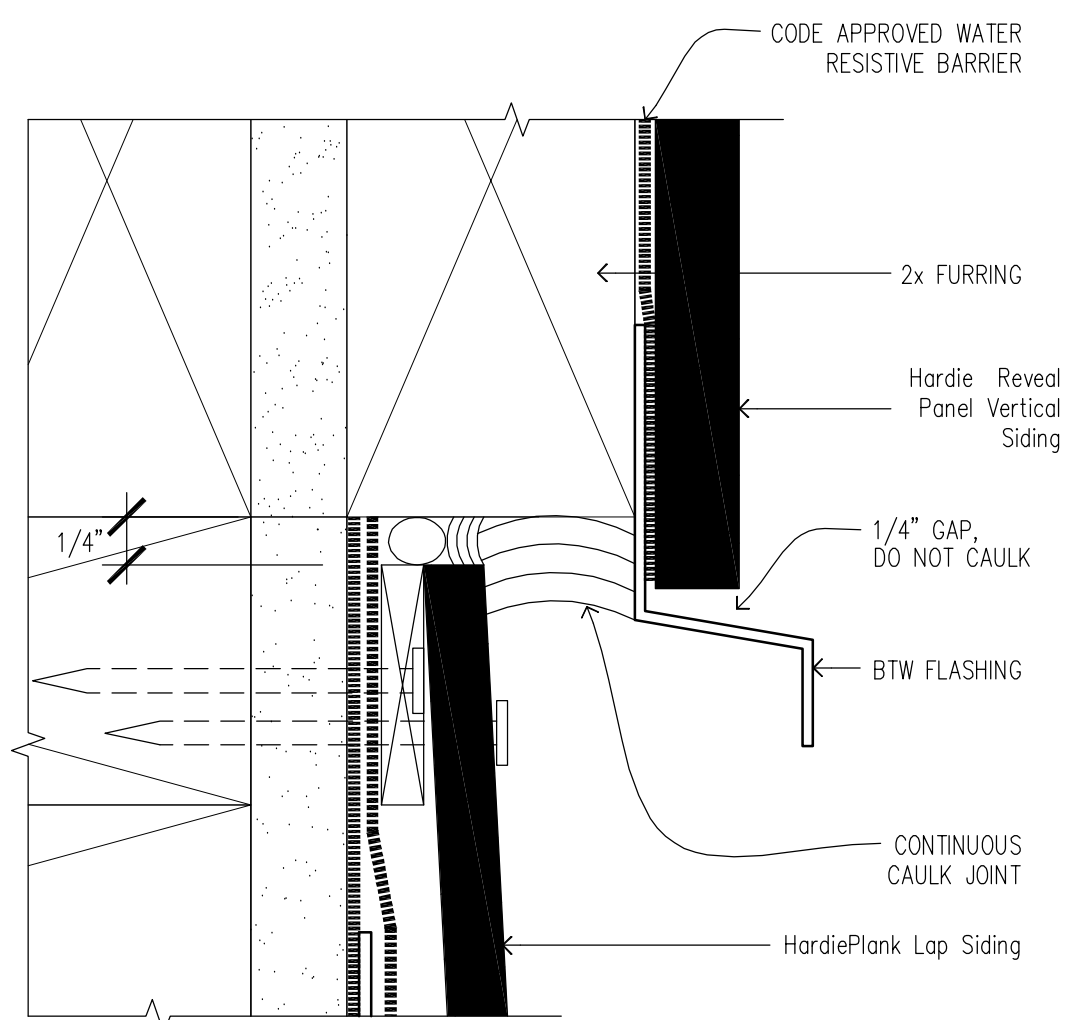


22 HORIZONTAL LAP VIEW
SCALE: 3"=1'-0"

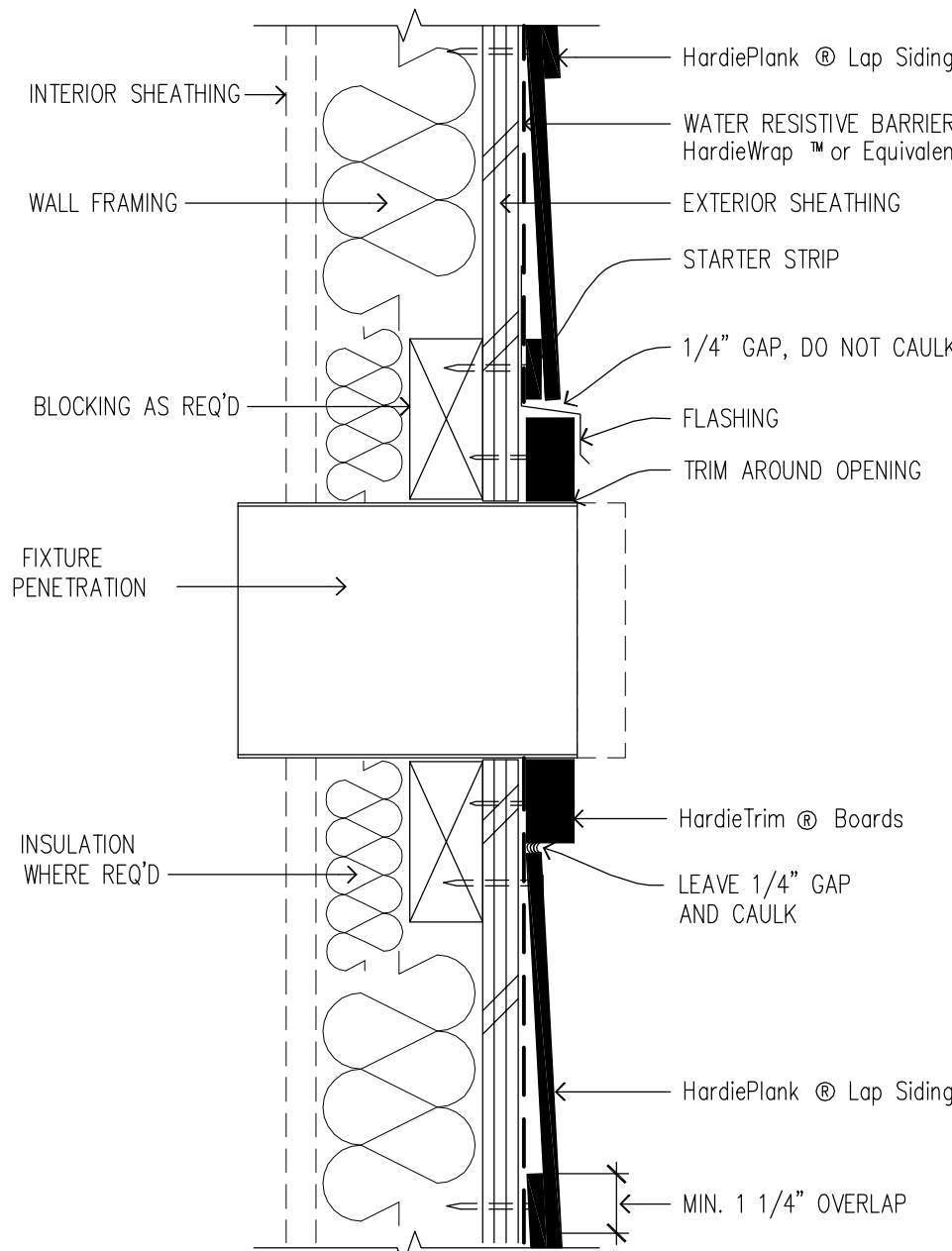


12 OUTSIDE CORNER
SCALE: 3"=1'-0"

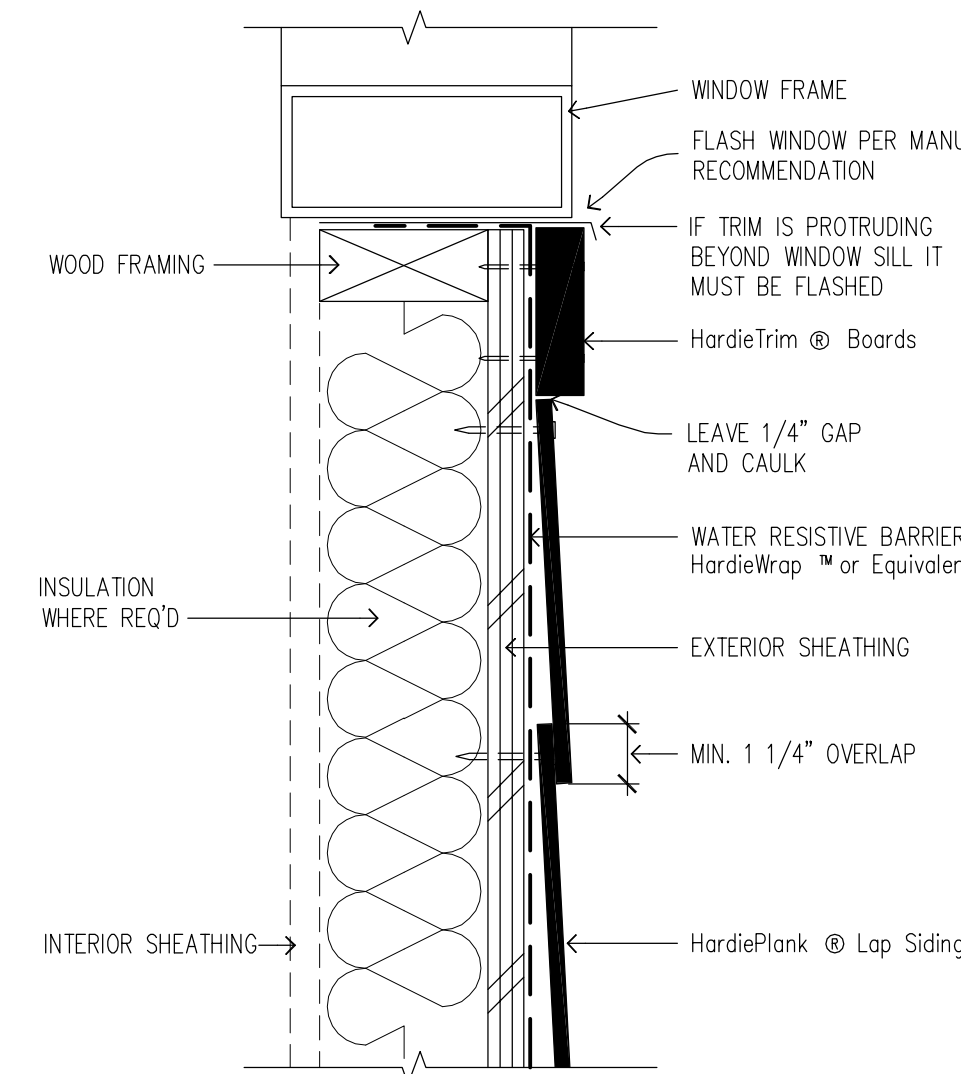
52 GENERAL NOTES



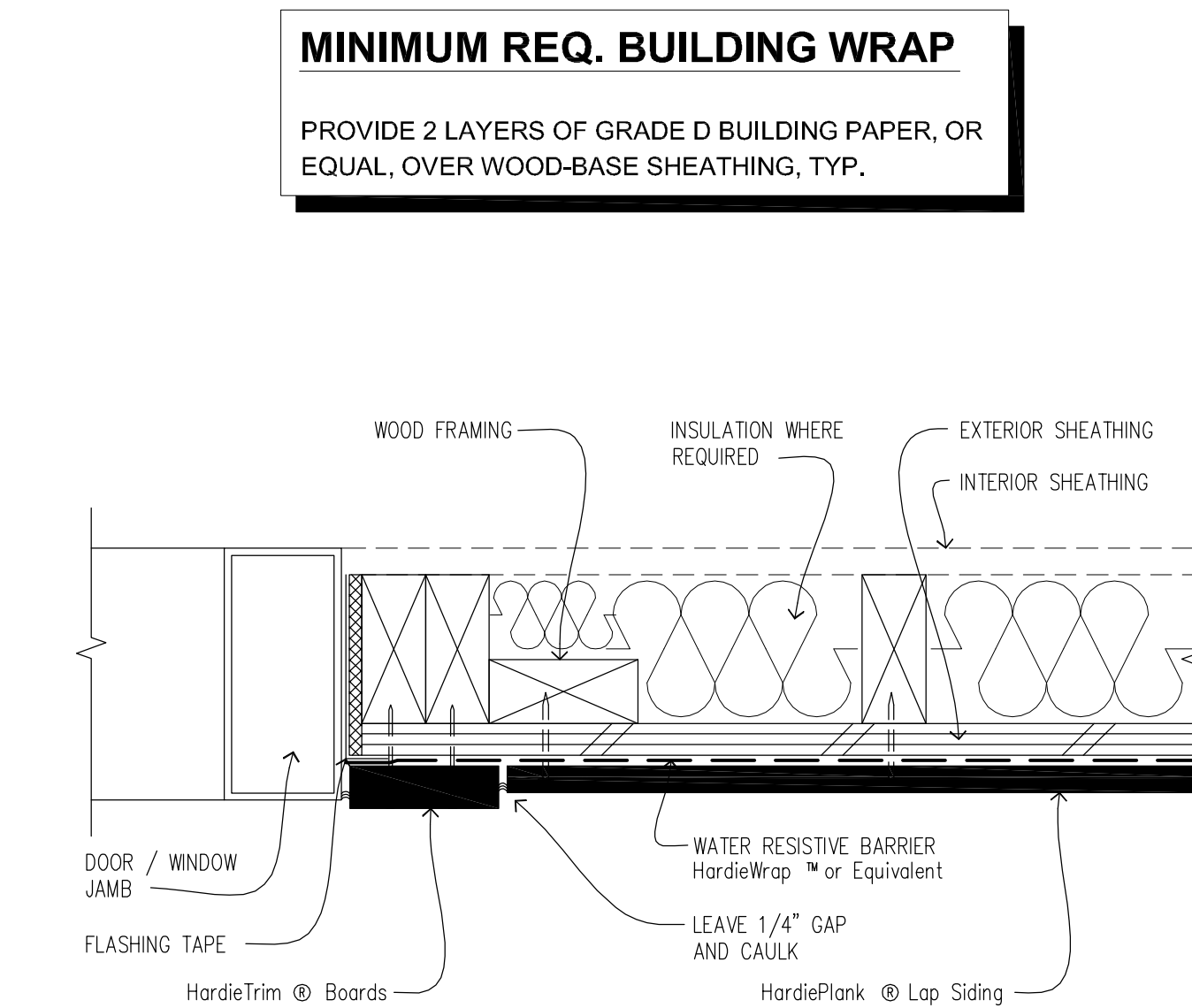
53 BOTTOM EDGE OF PANEL AT LAP SIDING
SCALE: FULL



33 FIXTURE PENETRATION
SCALE: 3"=1'-0"



23 WINDOW SILL
SCALE: 3"=1'-0"



13 DOOR / WINDOW JAMB
SCALE: 3"=1'-0"

MINIMUM REQ. BUILDING WRAP

PROVIDE 2 LAYERS OF GRADE D BUILDING PAPER, OR EQUAL, OVER WOOD-BASE SHEATHING, TYP.

PROJECT

MADONNA ROAD APARTMENTS

A RENOVATION AND UPGRADE PROJECT

1550 MADONNA ROAD
SAN LUIS OBISPO, CA

CLIENT JOB # ARCHITECT JOB #
1207

FRASER SEIPLE
ARCHITECTS

971 OSOS STREET
SAN LUIS OBISPO
CALIFORNIA 93401

805-544-6161

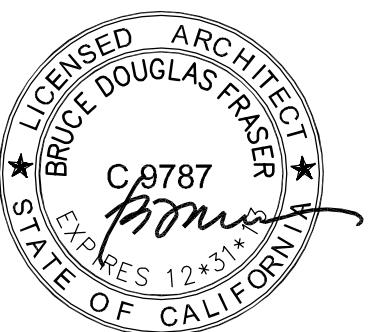
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DATES 08-08-2012 1st SUBMITTAL
09-19-2012 1st RE-SUBMITTAL
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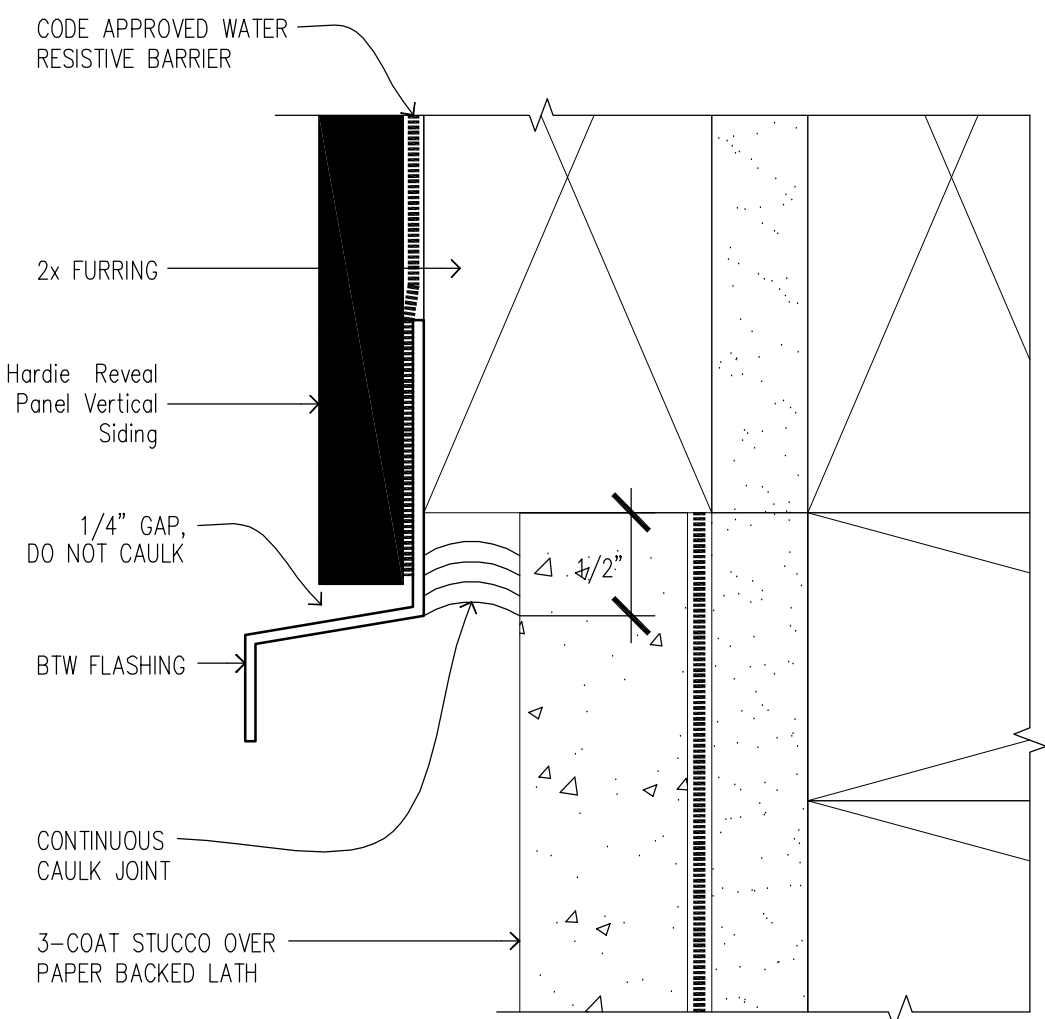
SHEET TITLE
MANUFACTURER'S DETAILS
(LAP SIDING)

SCALE: 3" = 1'=0"

SHEET #

A9.01

U:\CHN\Madonna Rd Apts 1207\Drawings\0 - Drawing Sheets\A9.01 - Details [Lap Siding].dwg, 10/2/2012 10:44:17 PM



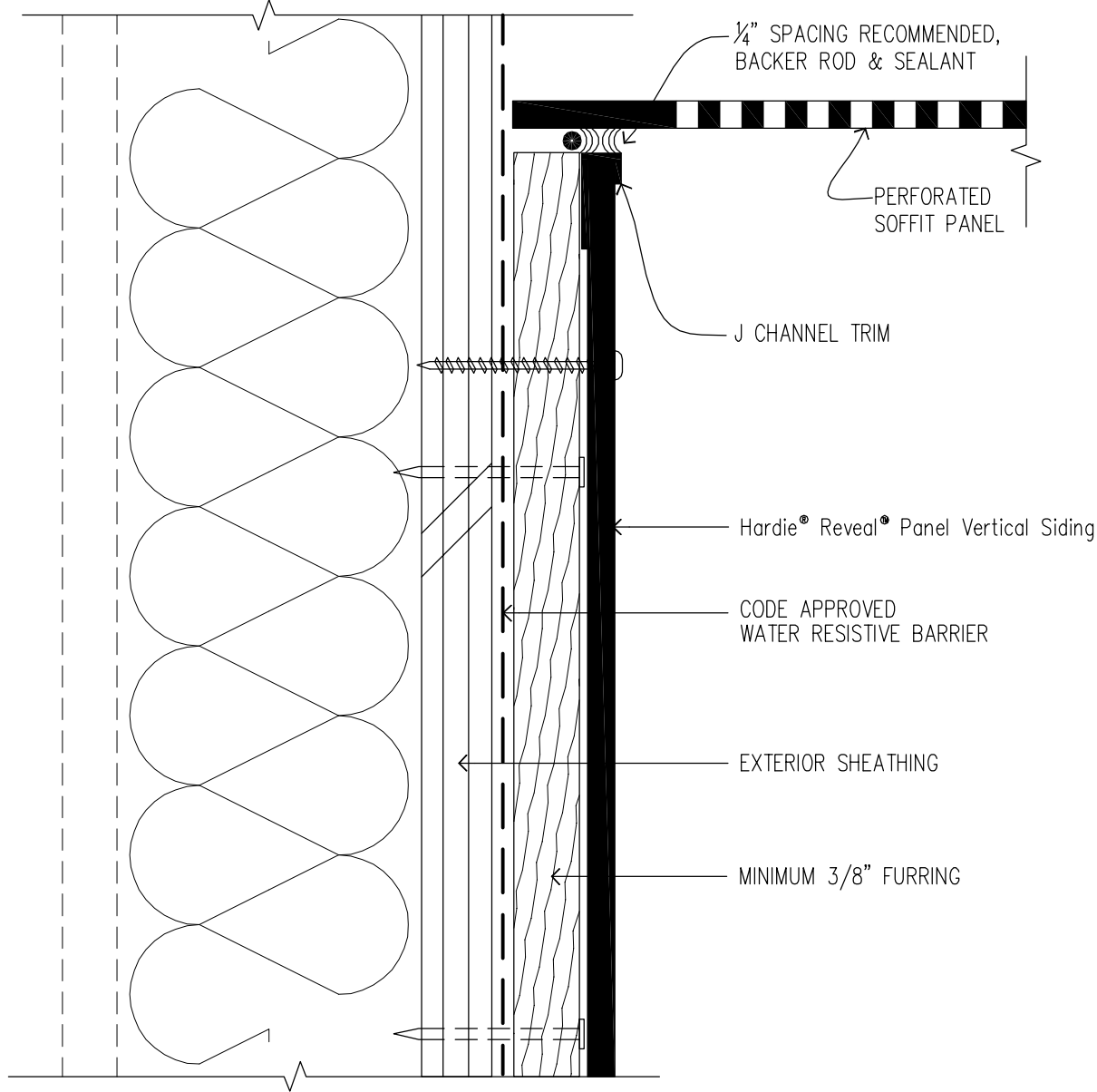
41 BOTTOM EDGE OF
PANEL AT PLASTER

SCALE: FULL

DETAILS 41 & 53 ARE NOT A
STANDARD MANUFACTURER'S
DETAILS. VERIFY THAT
MANUFACTURER WILL WARRANTY
THIS INSTALLATION AS DETAILED.

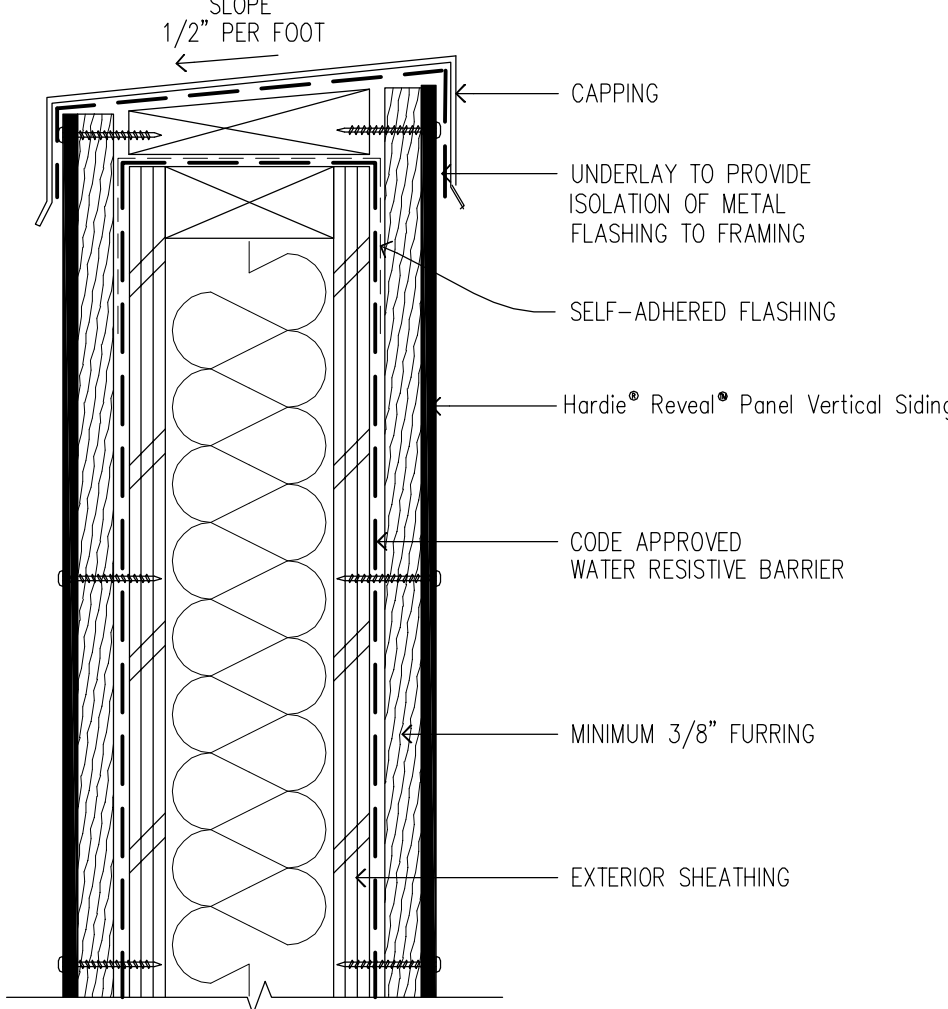
MINIMUM REQ. BUILDING WRAP

PROVIDE 2 LAYERS OF GRADE D BUILDING PAPER, OR
EQUAL, OVER WOOD-BASE SHEATHING, TYP.



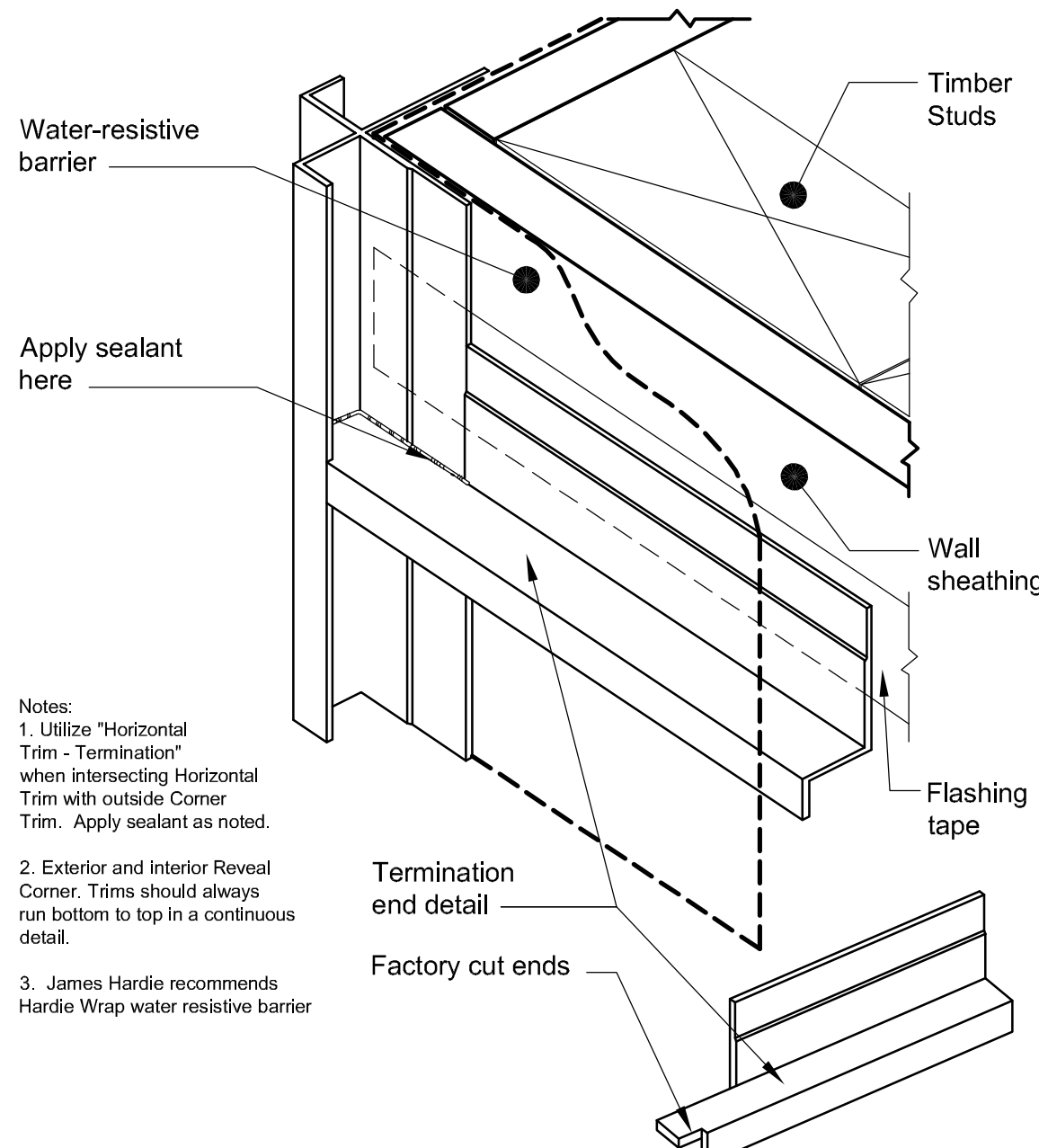
31 WALL AND SOFFIT FOR VENTED RAINSCREEN

SCALE: 6"=1'-0"

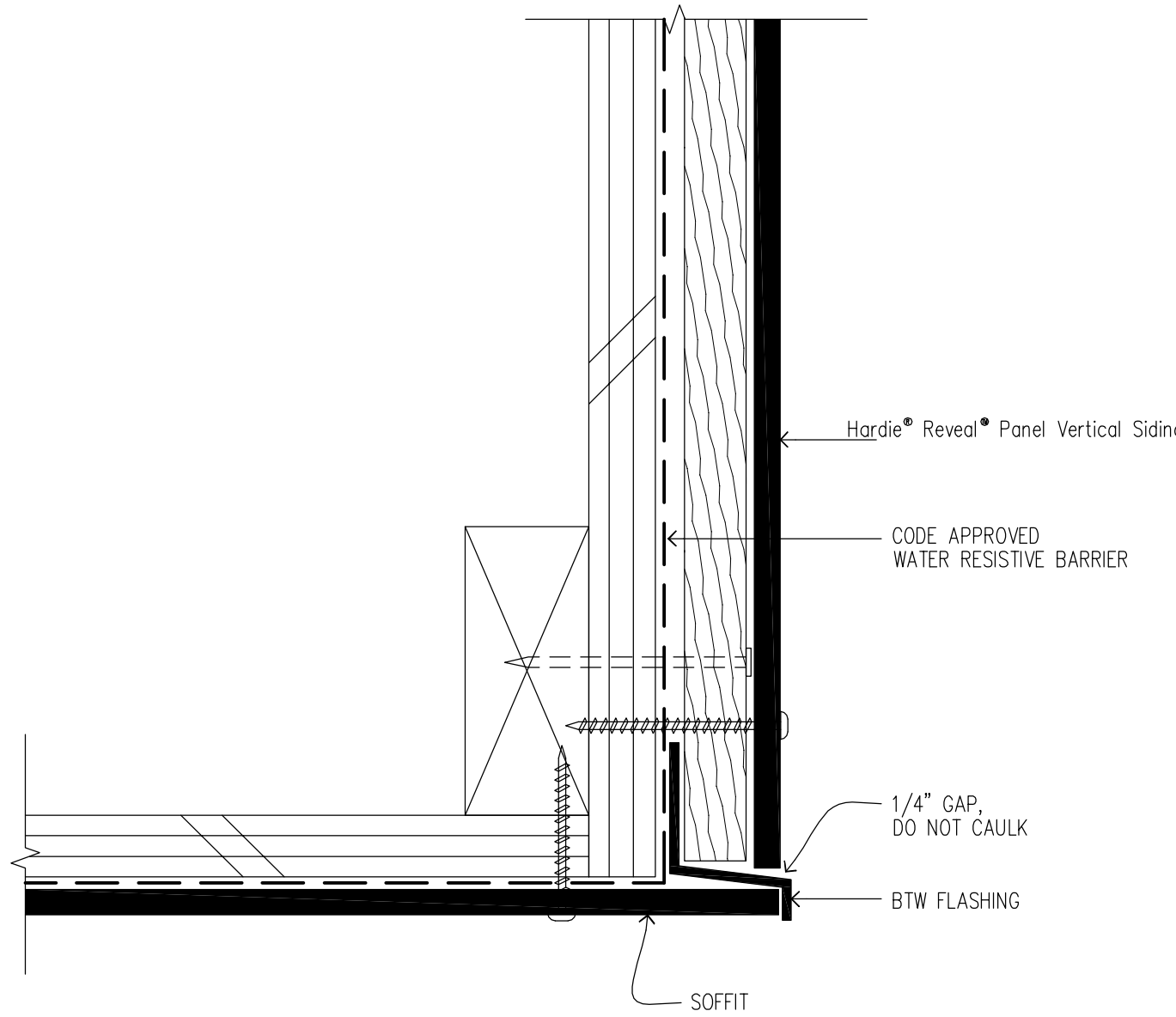


32 PARAPET WALL

SCALE: 3"=1'-0"

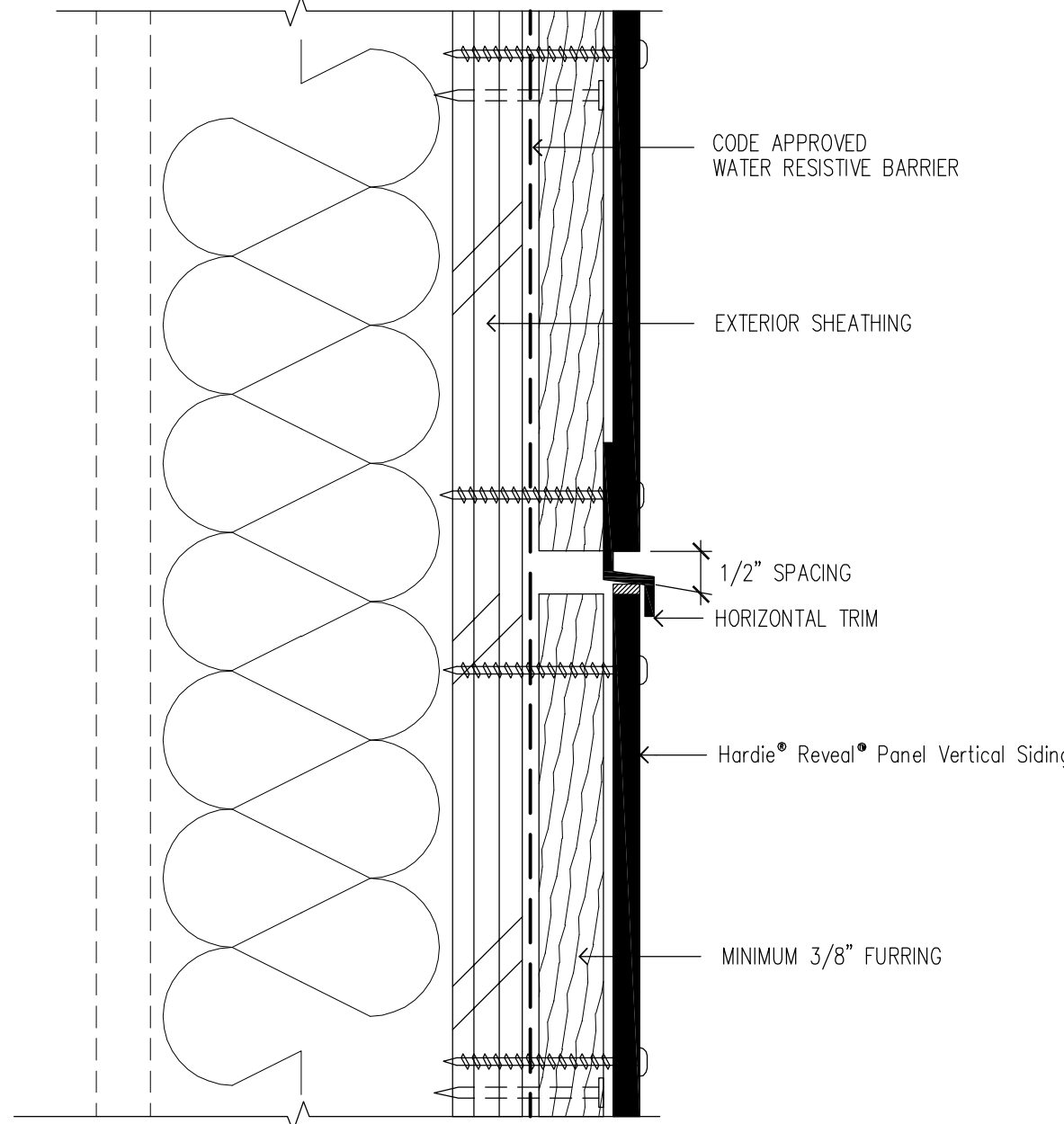


33 JOINT DETAIL TRANSITION



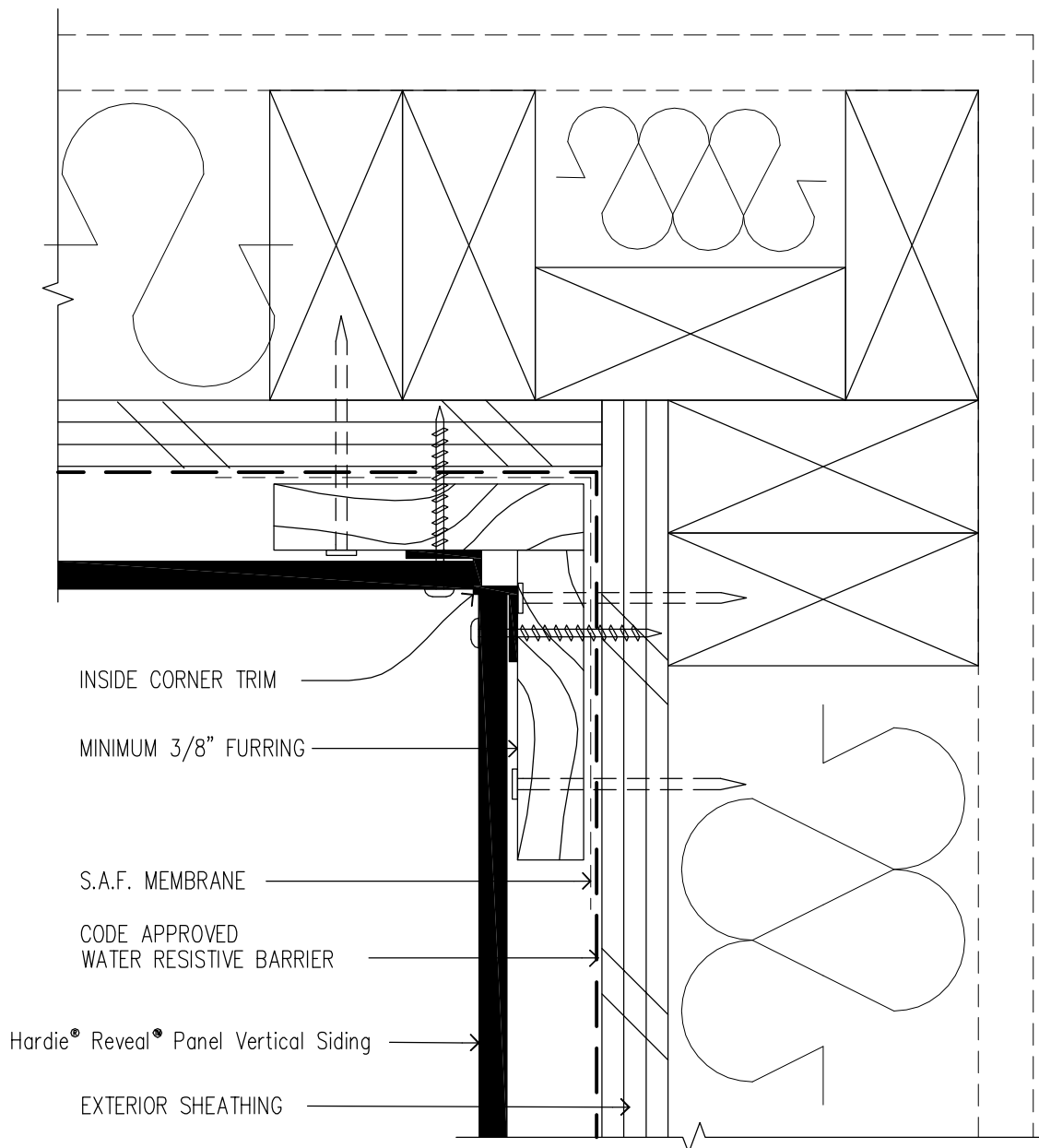
21 SOFFIT FLASHING INTERSECTION

SCALE: 6"=1'-0"



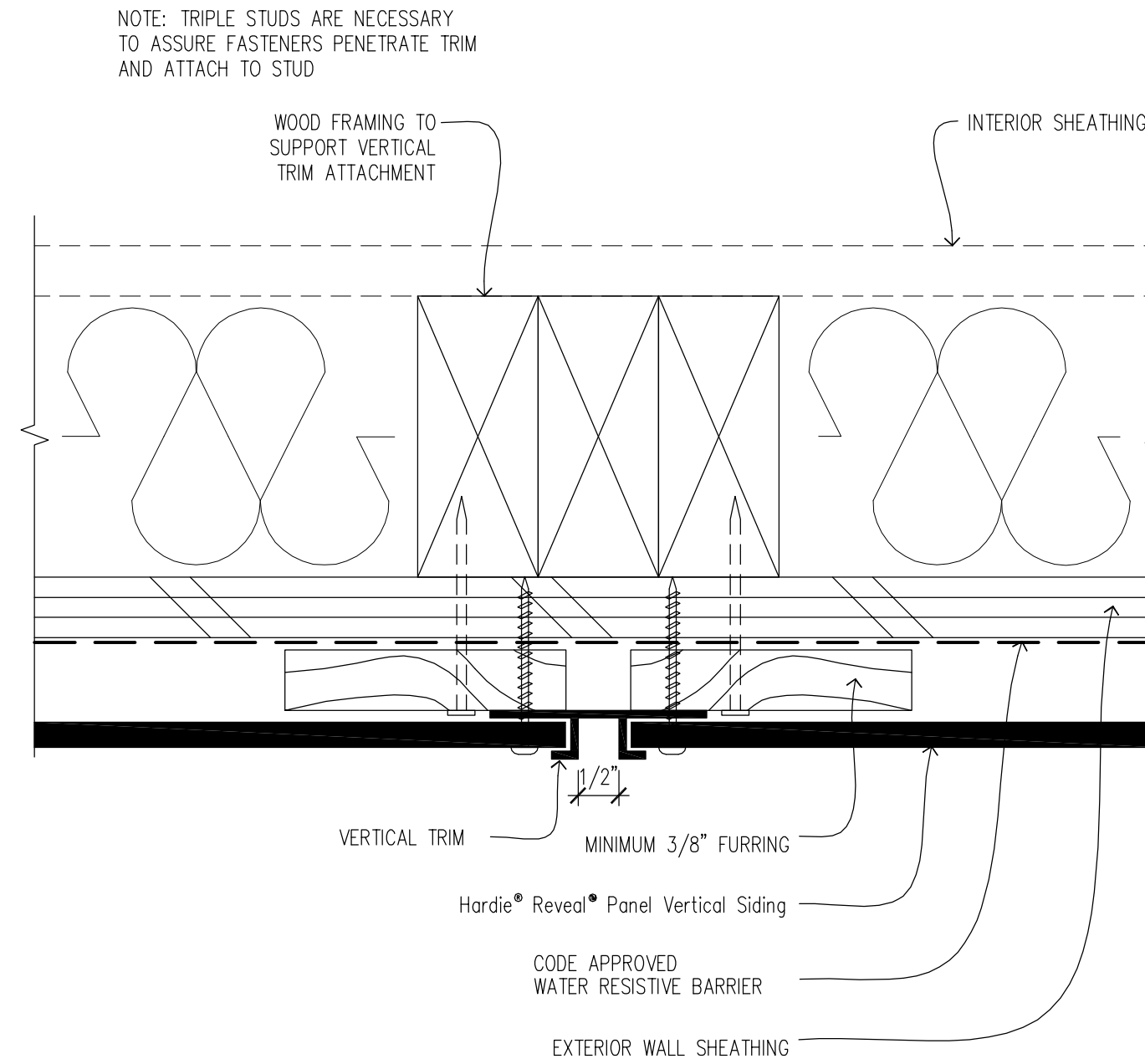
22 PANEL WITH HORIZONTAL TRIM

SCALE: 6"=1'-0"



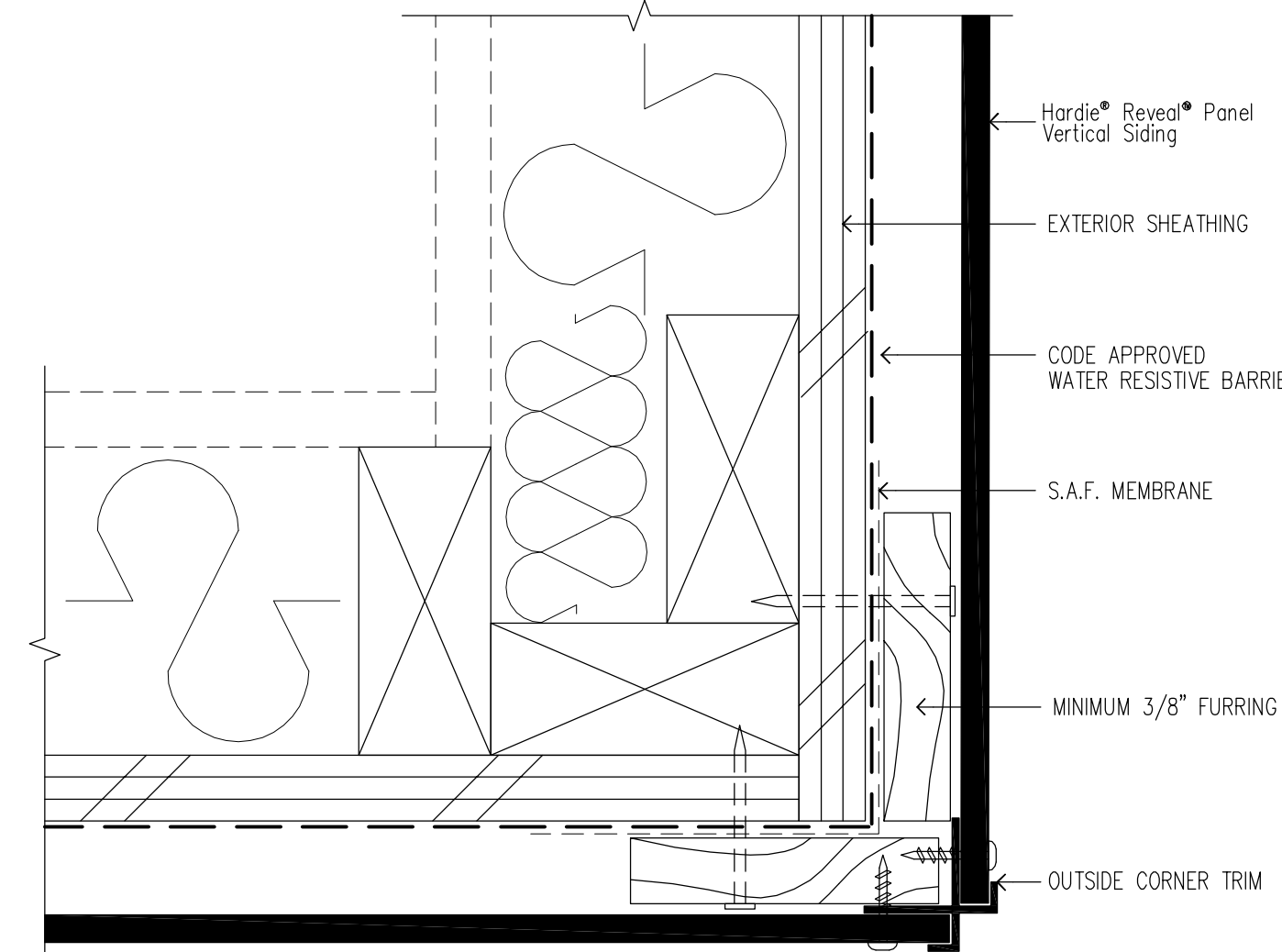
23 INSIDE CORNER TRIM

SCALE: 6"=1'-0"



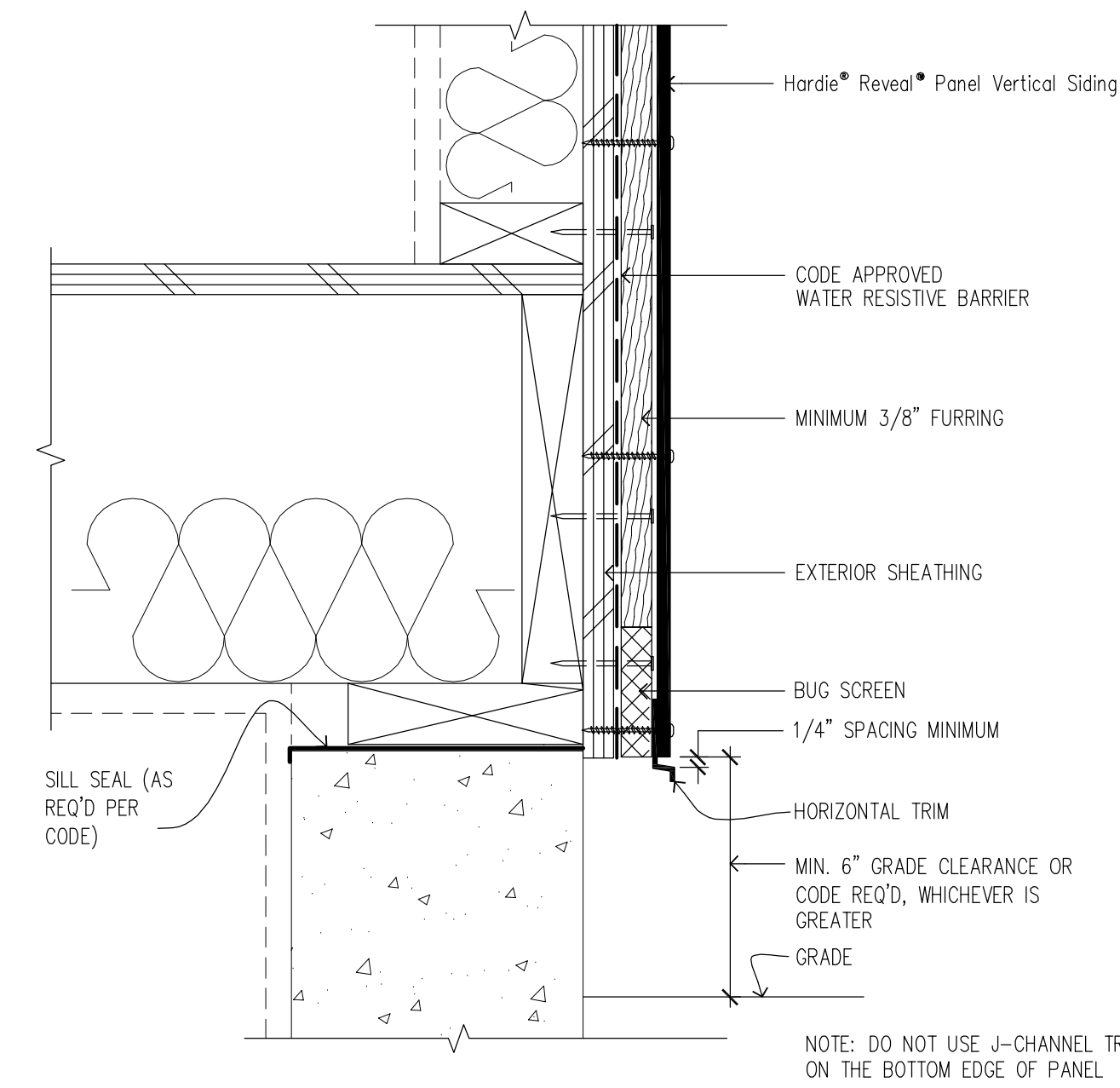
11 PANEL WITH VERTICAL TRIM

SCALE: 6"=1'-0"



12 OUTSIDE CORNER TRIM

SCALE: 6"=1'-0"



13 FOUNDATION @ GRADE

SCALE: 3"=1'-0"

1. INSPECT ALL EXISTING PLYWOOD SIDING FOR WATER AND TERMITE DAMAGE. REMOVE DAMAGED SIDING AND INSPECT EXTERIOR GRADE GYPSUM BOARD BELOW.
2. REPLACE DAMAGED PLYWOOD SIDING WITH NEW EXTERIOR GRADE PLYWOOD SHEATHING OF EQUAL THICKNESS.
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43 GENERAL NOTES

PROJECT

**MADONNA
ROAD
APARTMENTS**

**A RENOVATION AND
UPGRADE PROJECT**

**1550 MADONNA ROAD
SAN LUIS OBISPO, CA**

CLIENT JOB #

ARCHITECT JOB #

1207

**FRASER
SEIPLE
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SAN LUIS OBISPO
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805-544-6161

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PROJECT MANAGER BDF

DRAWN BY DDL

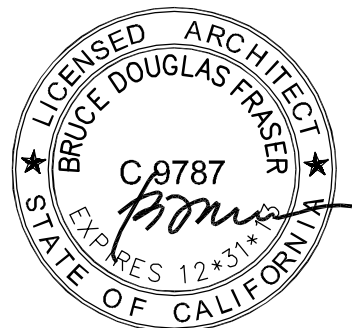
DATES

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SHEET TITLE

**MANUFACTURER'S
DETAILS**

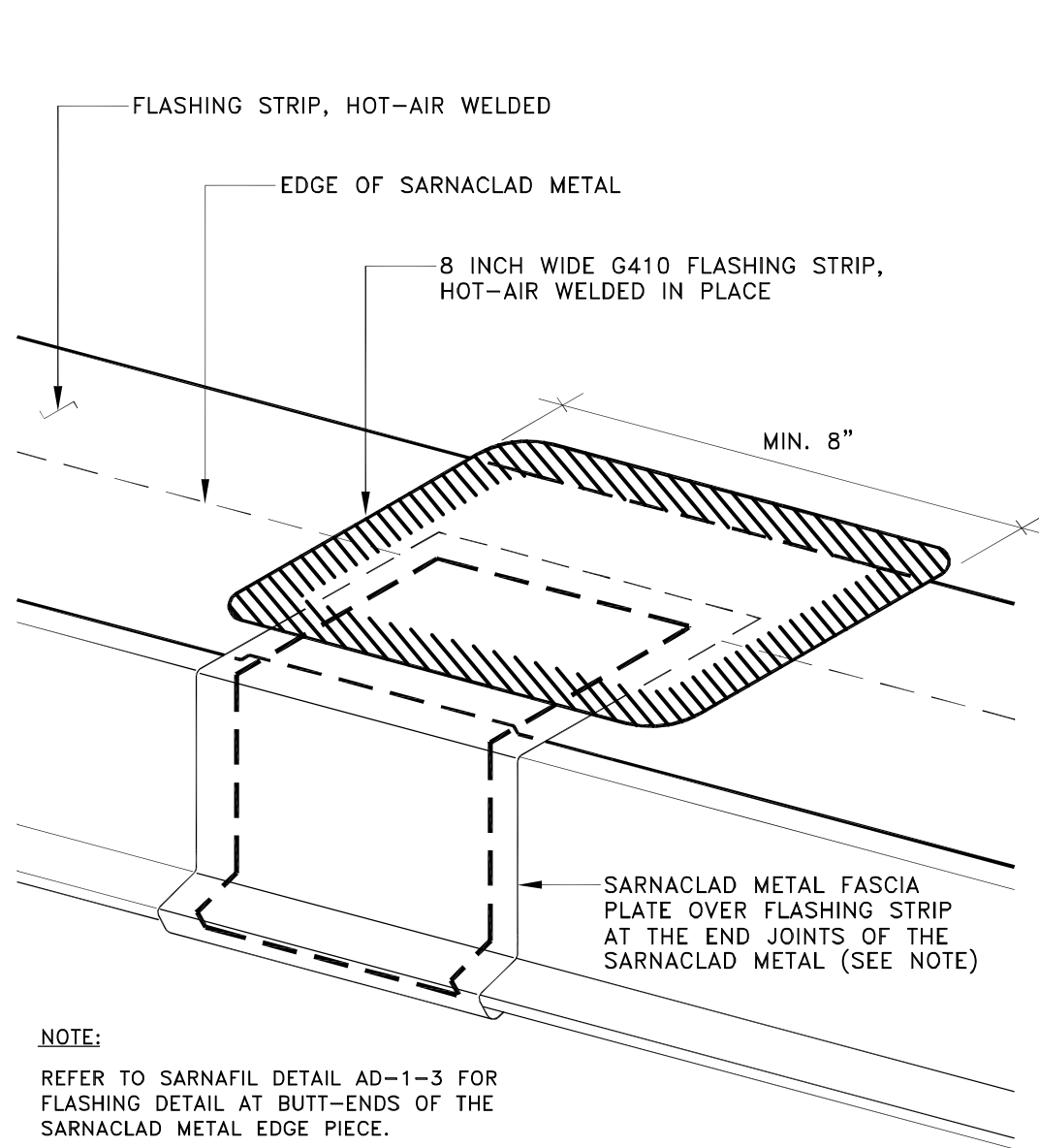
(PANEL REVEAL)

SCALE: 3" = 1'=0"

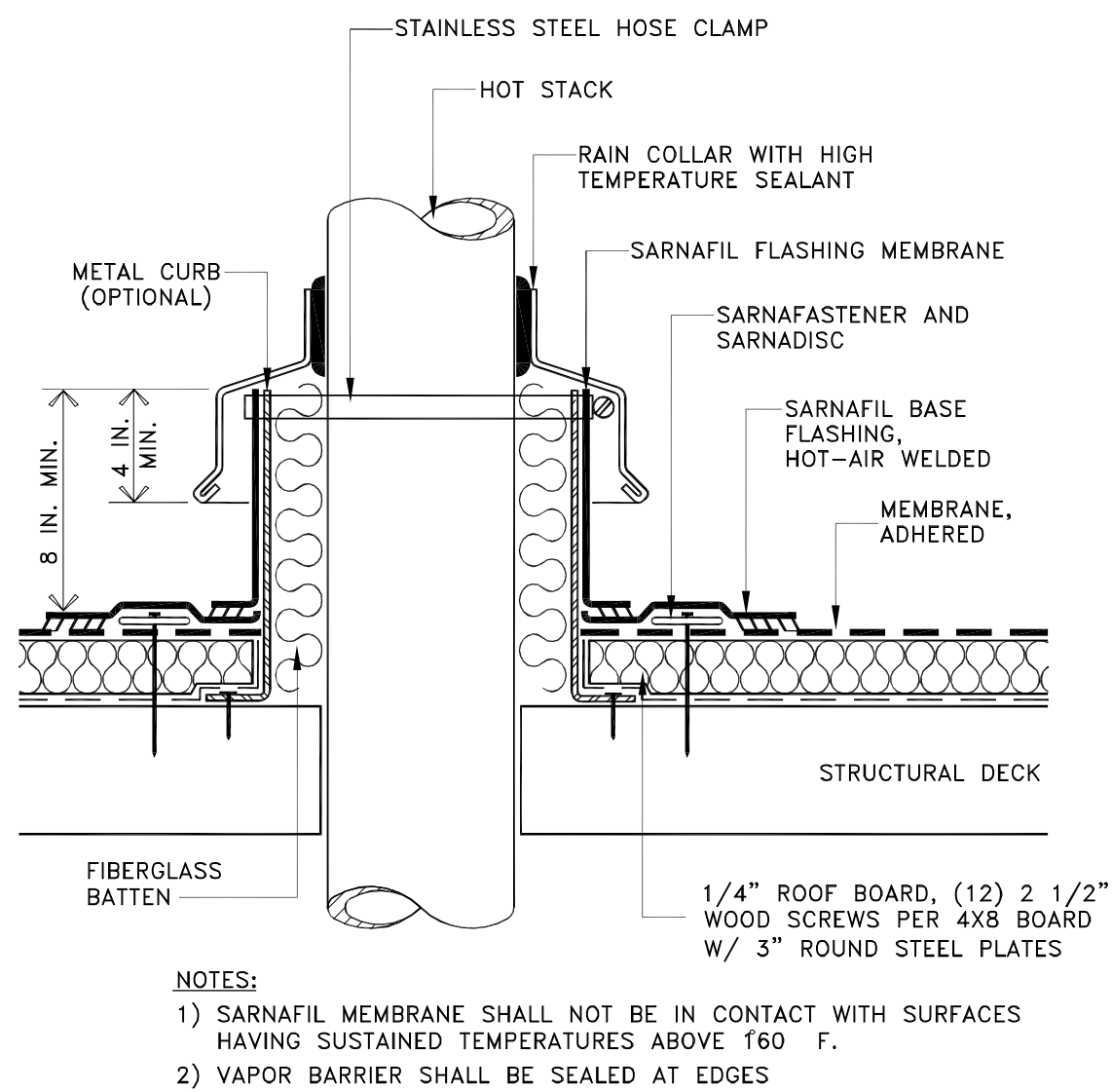
SHEET #

A9.02

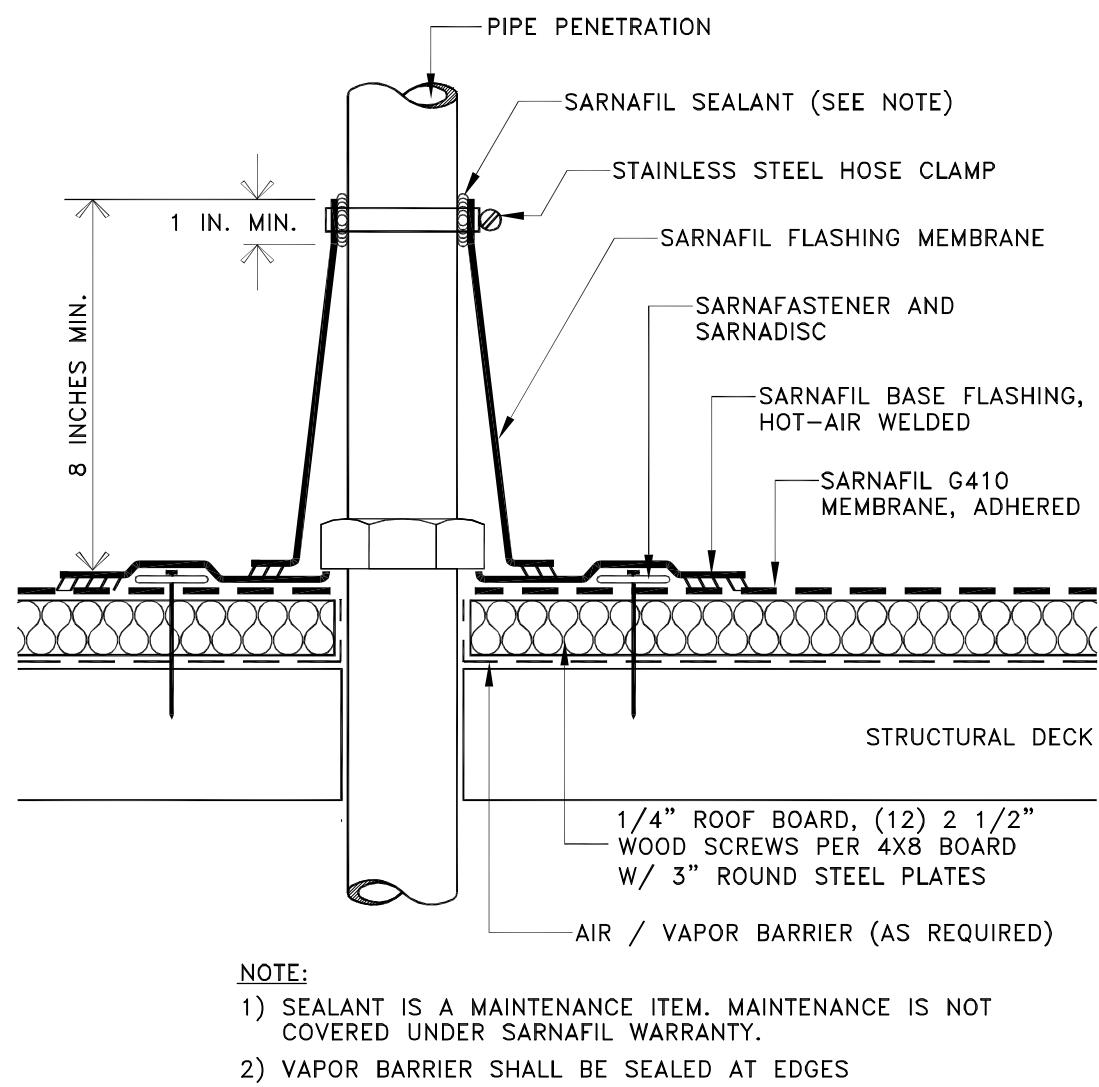
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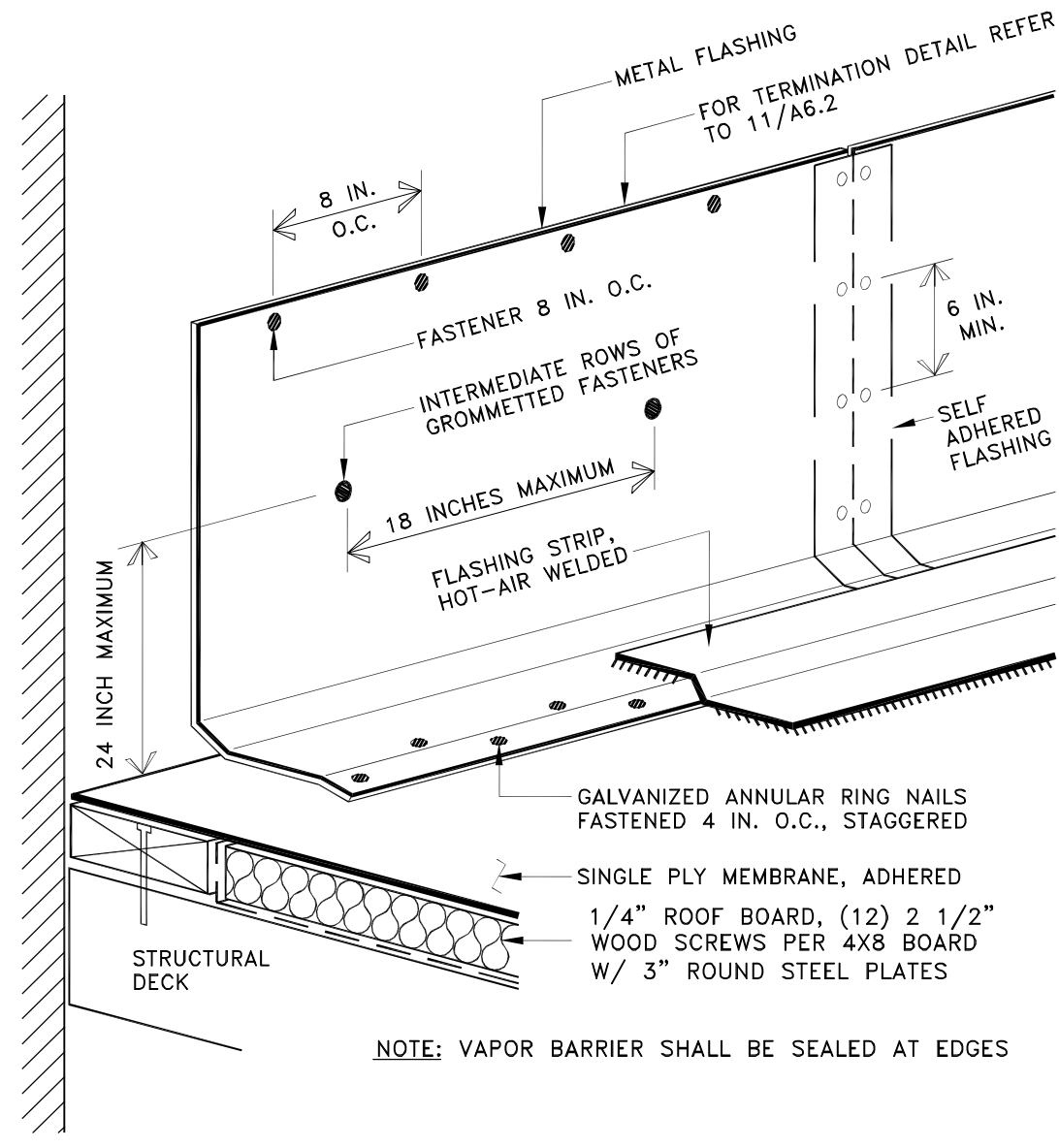
41 FASCIA PLATE AT SPLICE
N.T.S.



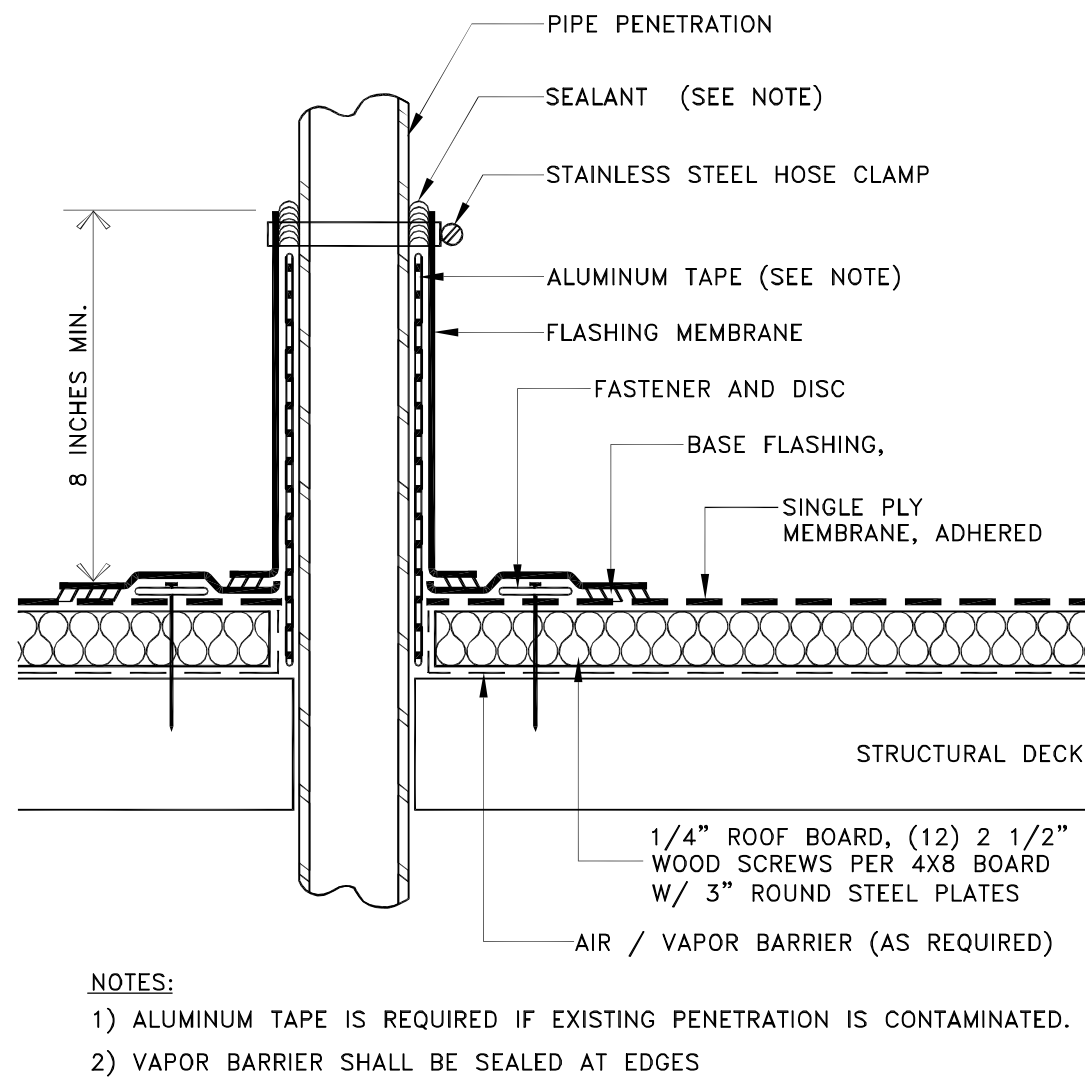
42 HEATED STACK FLASHING
N.T.S.



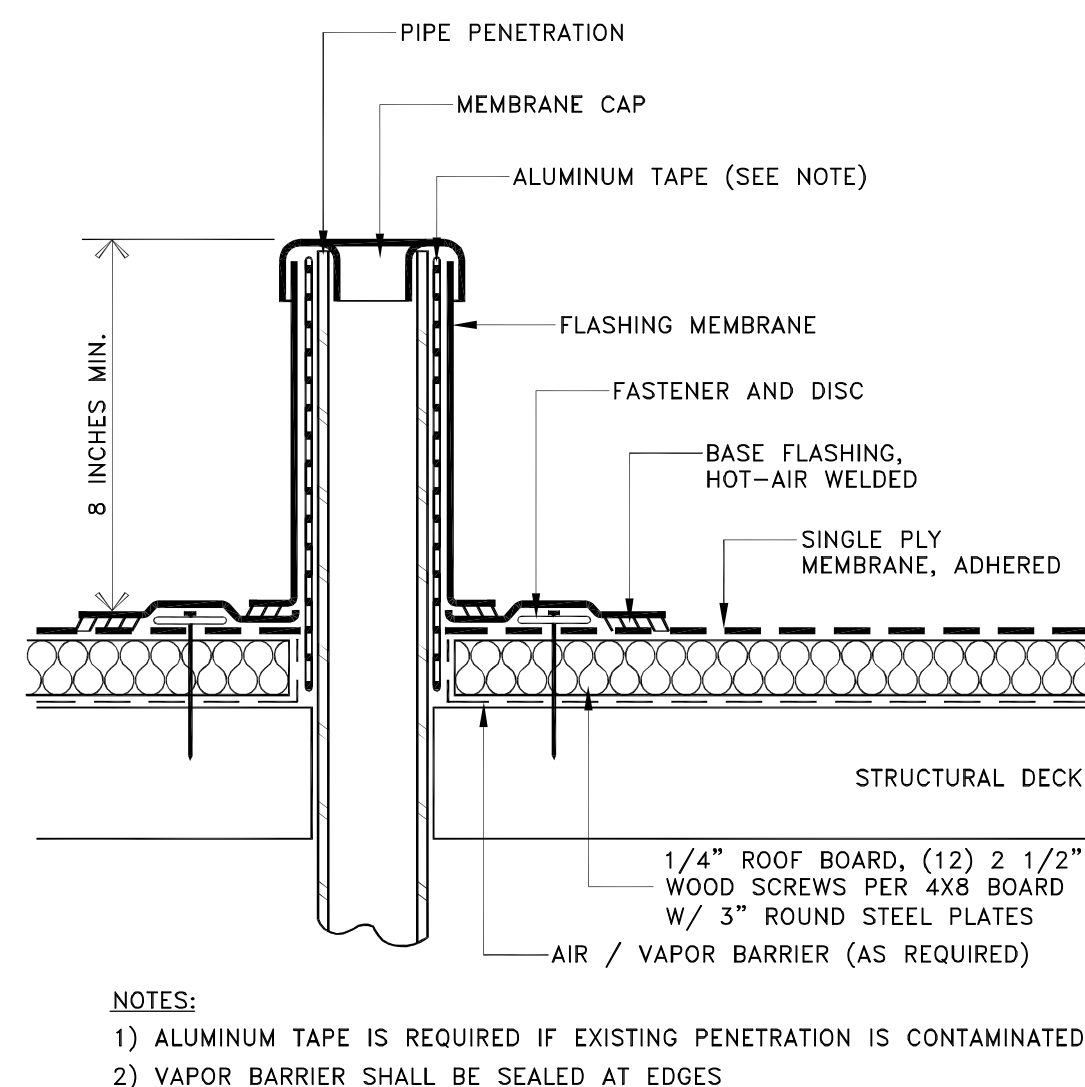
43 CONE FLASHING
N.T.S.



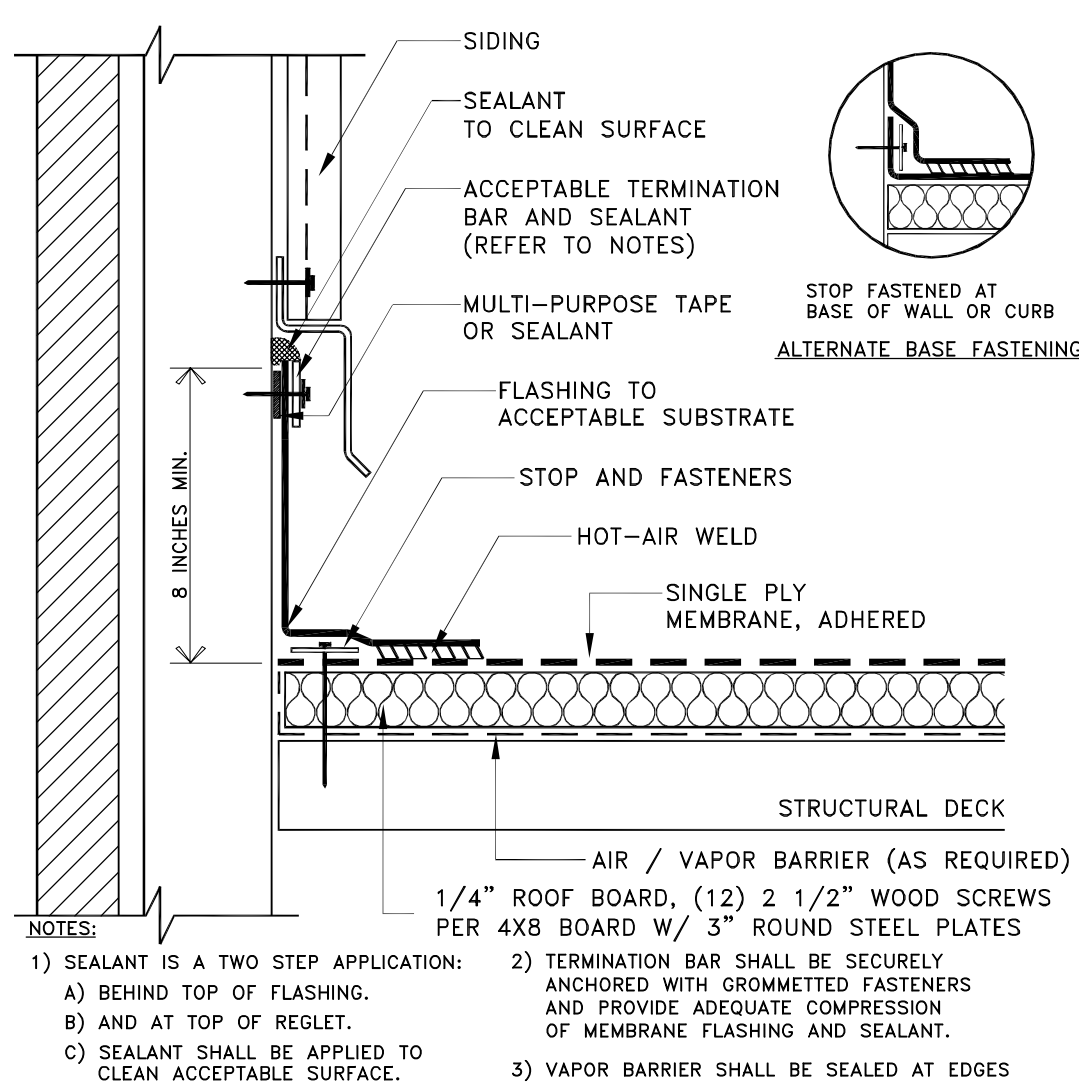
31 METAL FLASHING
N.T.S.



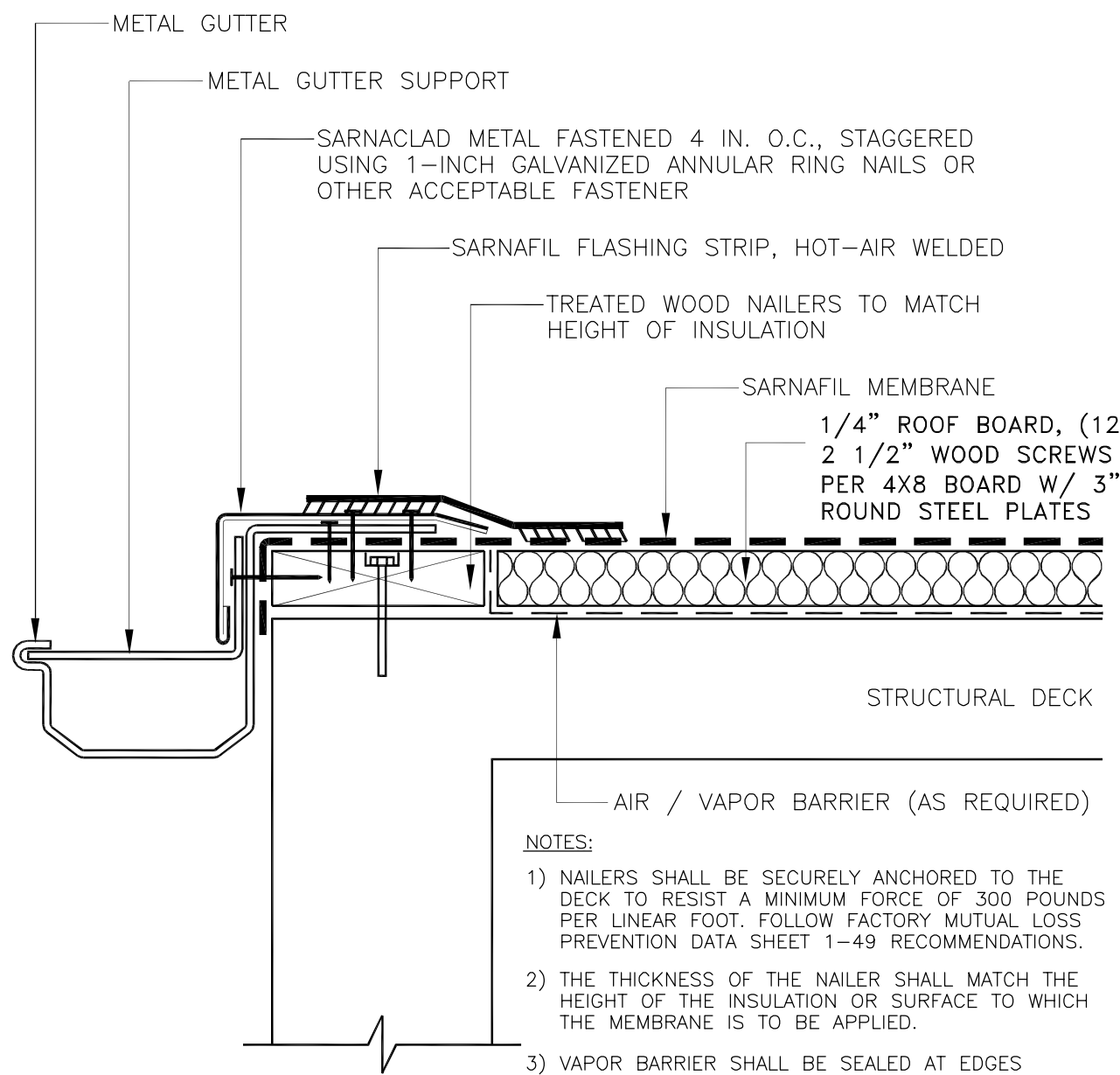
32 PIPE PENETRATION FLASHING
N.T.S.



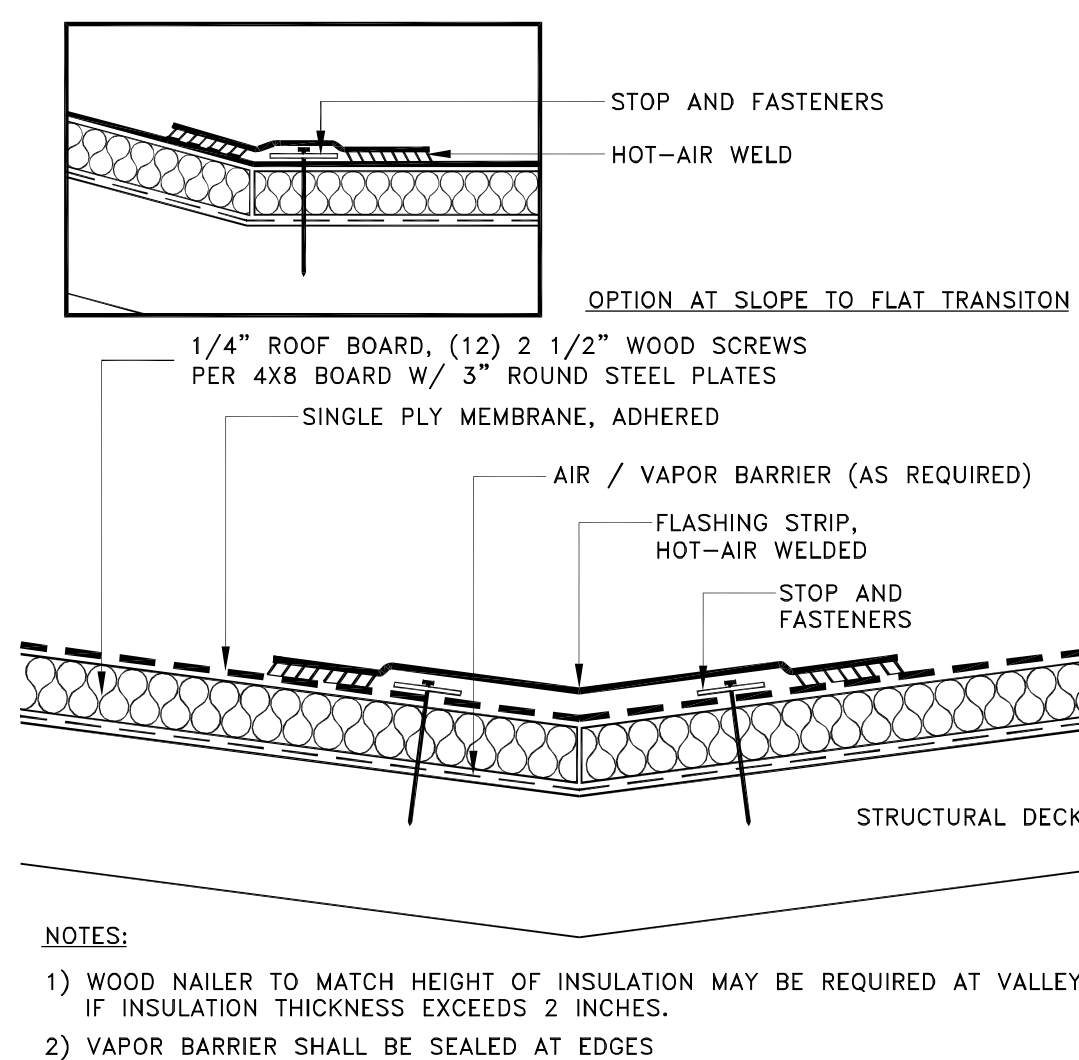
33 VENT STACK FLASHING
N.T.S.



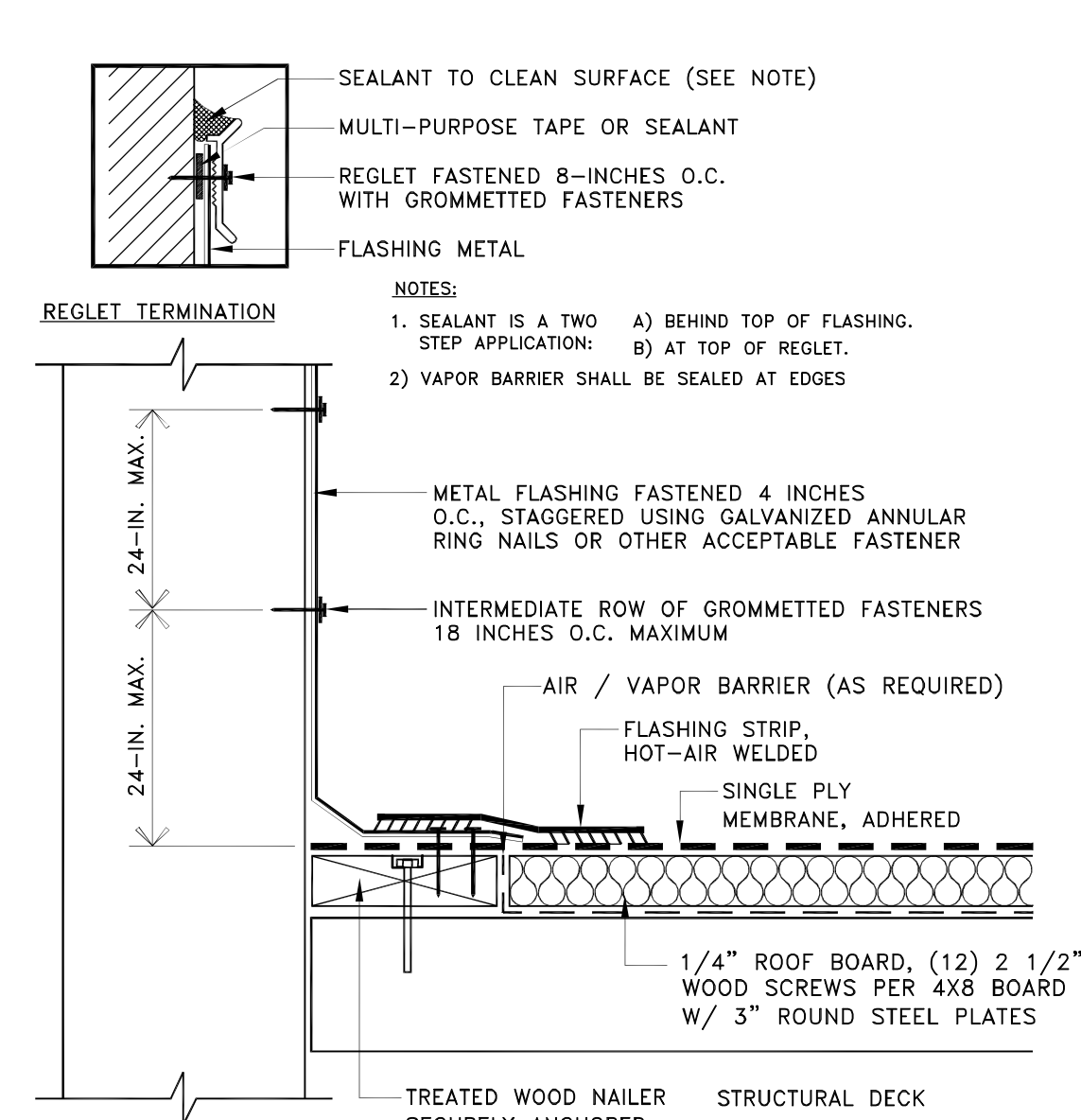
21 FLASHING AT SIDING
N.T.S.



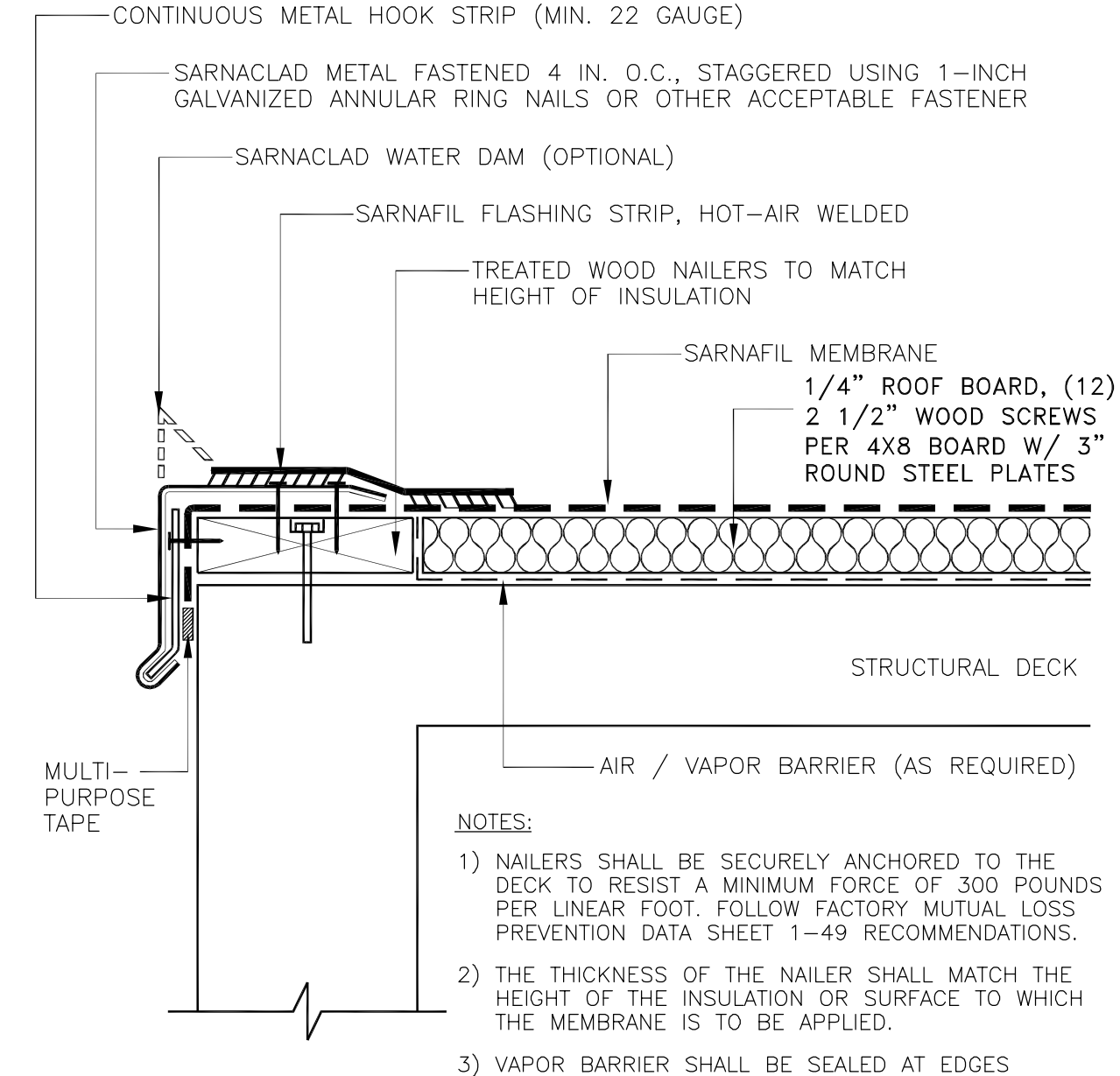
22 GUTTER FLASHING
N.T.S.



23 SLOPE TRANSITION
N.T.S.



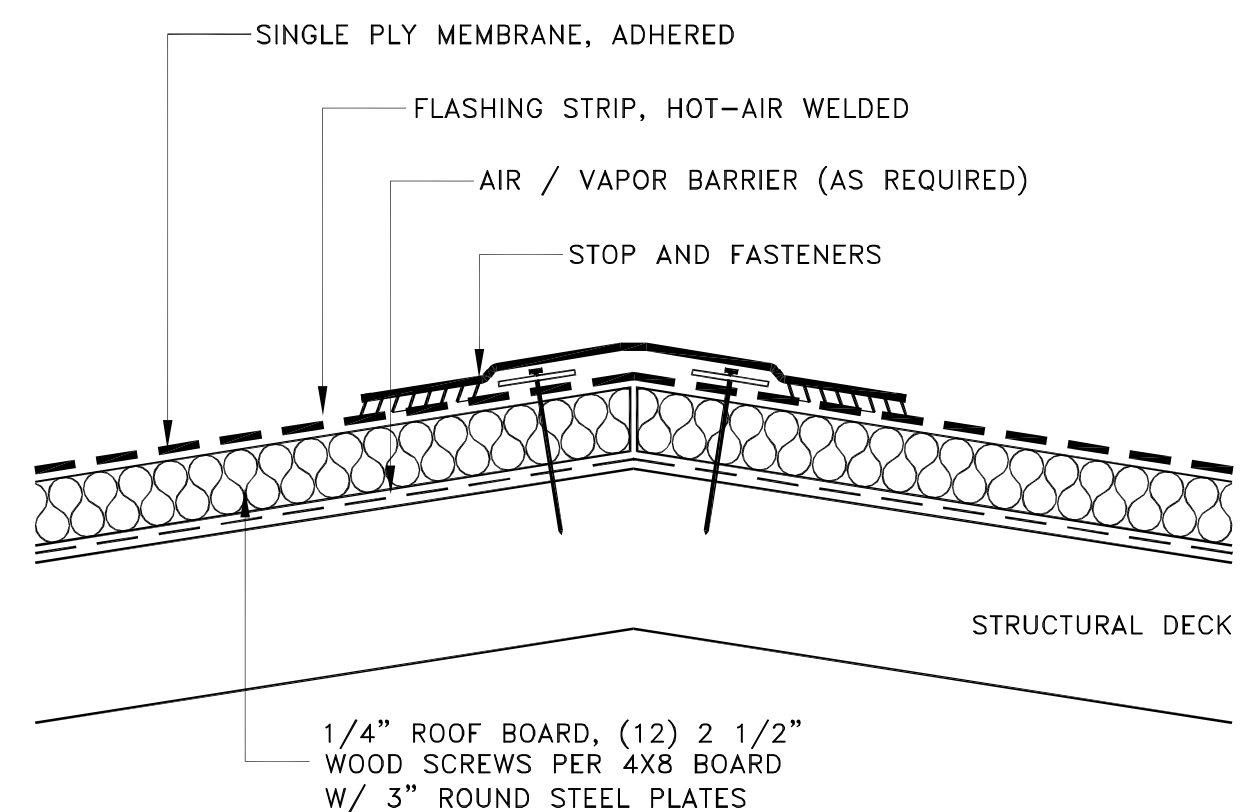
11 METAL FLASHING AT WALL
N.T.S.



12 ROOF EDGE FLASHING
N.T.S.

DEMOLITION OF (E) ROOFING

DEMOLISH EXISTING 4-PLY CAP SHEET ROOF SYSTEM
DOWN TO EXISTING 5/8" PLYWOOD SHEATHING



13 PEAK / RIDGE
N.T.S.

PROJECT

MADONNA
ROAD
APARTMENTS

A RENOVATION AND
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1550 MADONNA ROAD
SAN LUIS OBISPO, CA

CLIENT JOB # ARCHITECT JOB #
1207

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ARCHITECTS

971 OSOS STREET
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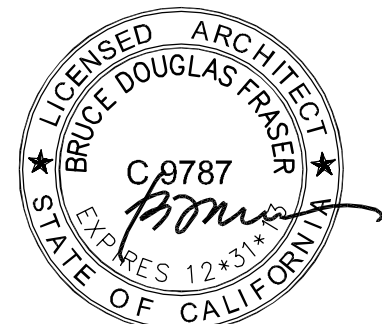
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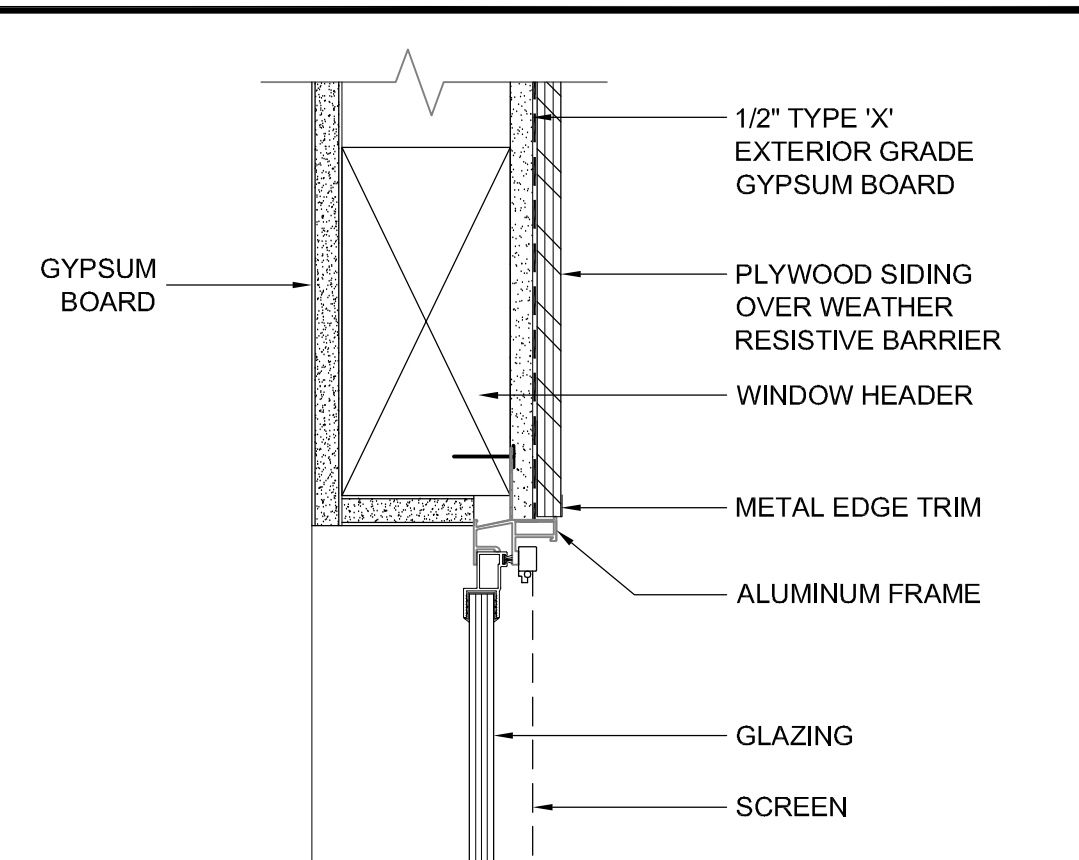
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SHEET TITLE
MANUFACTURER'S
DETAILS
(SINGLE-PLY ROOFING)

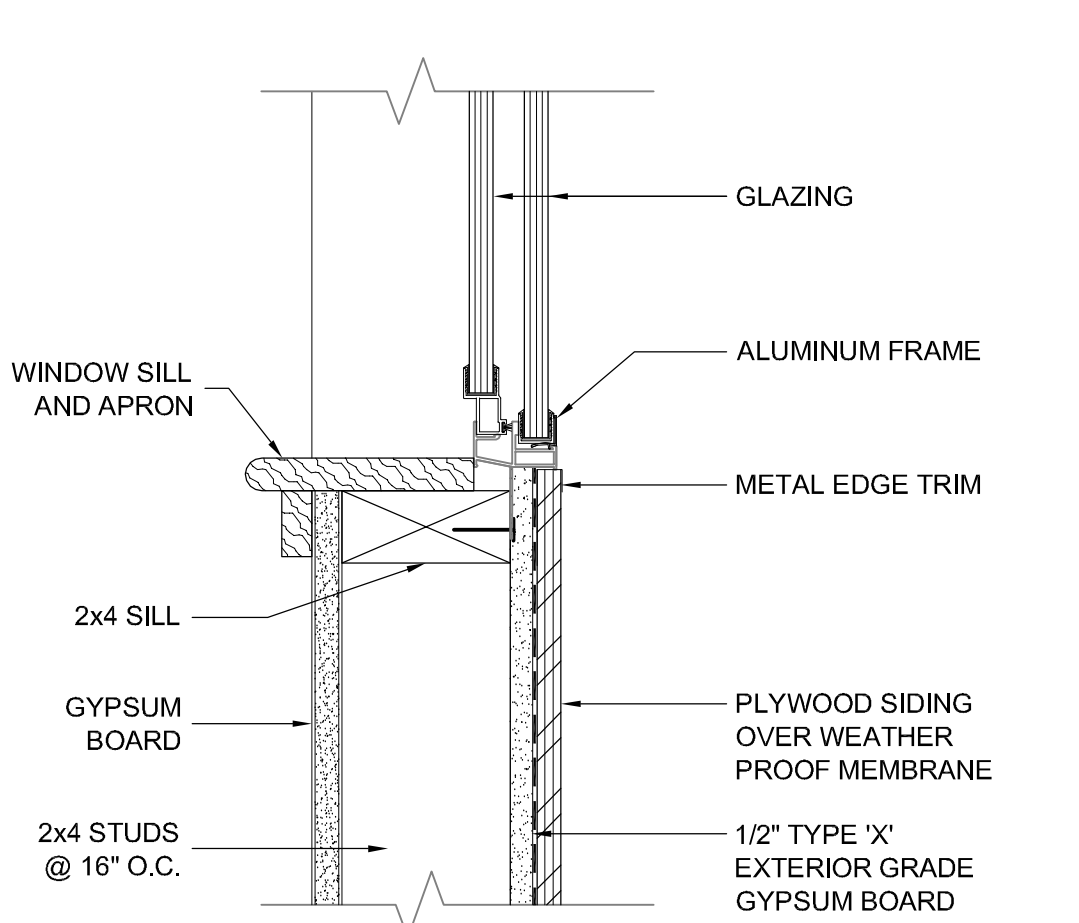
SCALE: N.T.S.

SHEET #

A9.03

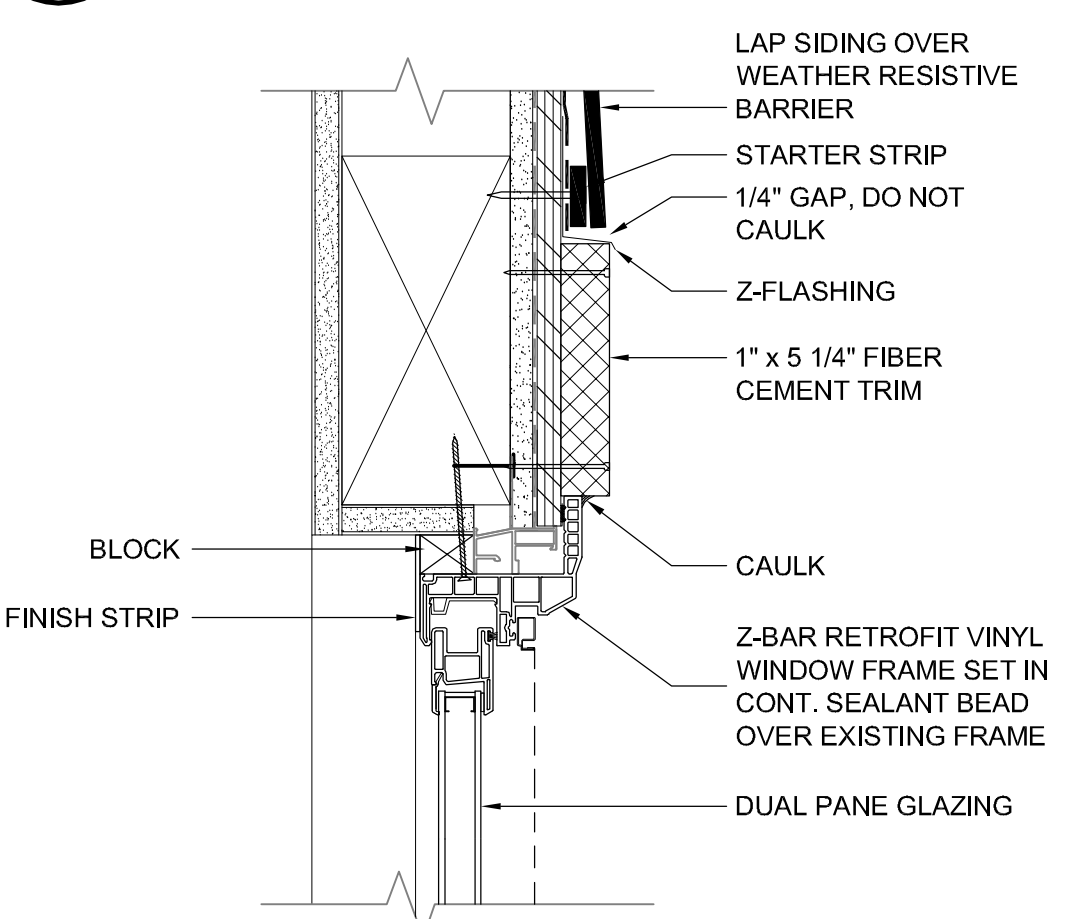


11 (E) WINDOW HEAD
3"= 1' -0"

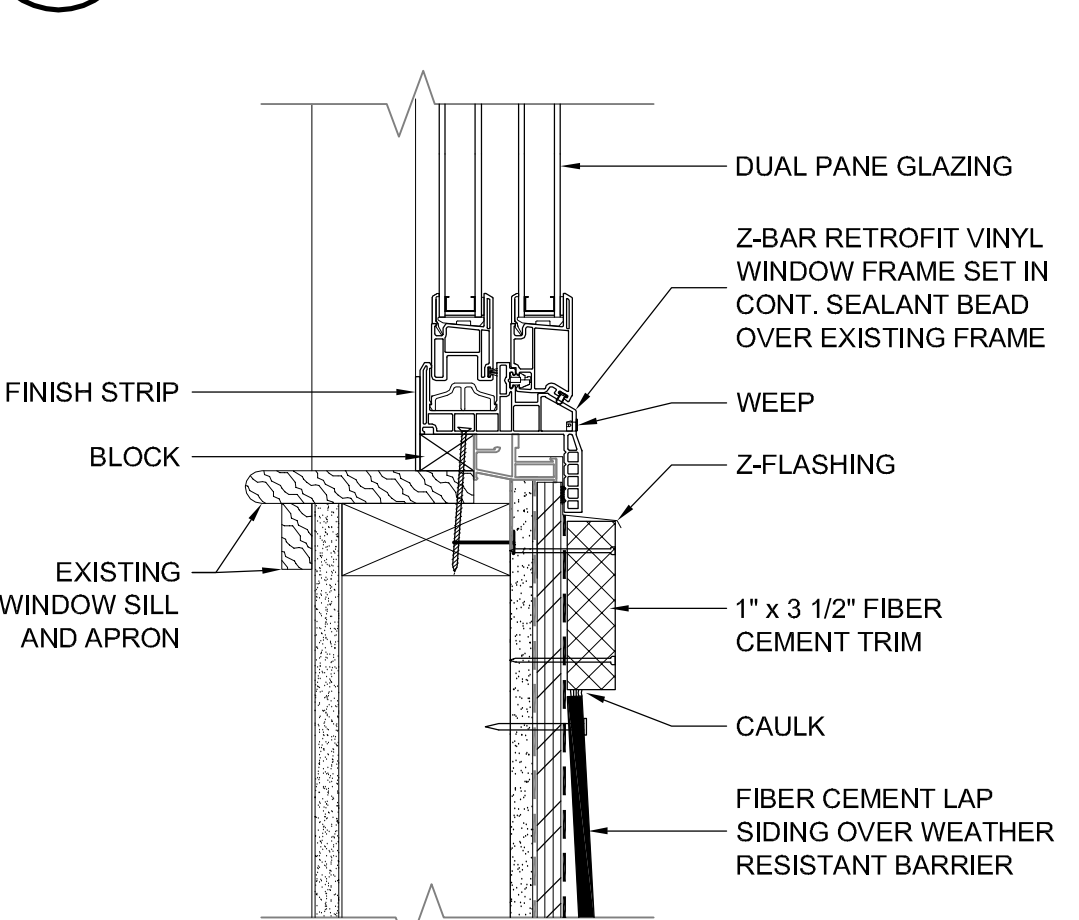


12 (E) WINDOW SILL
3"= 1' -0"

1. INSPECT ALL EXISTING PLYWOOD SIDING FOR WATER AND TERMITE DAMAGE. REMOVE DAMAGED SIDING AND INSPECT EXTERIOR GRADE GYPSUM BOARD BELOW.
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13 (N) WINDOW HEAD
3"= 1' -0"



14 (N) WINDOW SILL
3"= 1' -0"

MADONNA ROAD APARTMENTS

A RENOVATION AND UPGRADE PROJECT

**1550 MADONNA ROAD
SAN LUIS OBISPO, CA**

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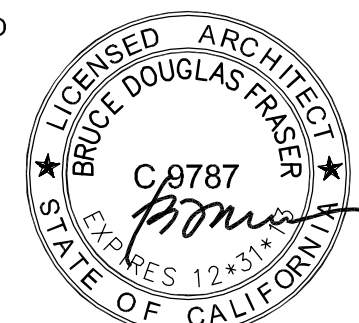
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DRAWN BY DDL

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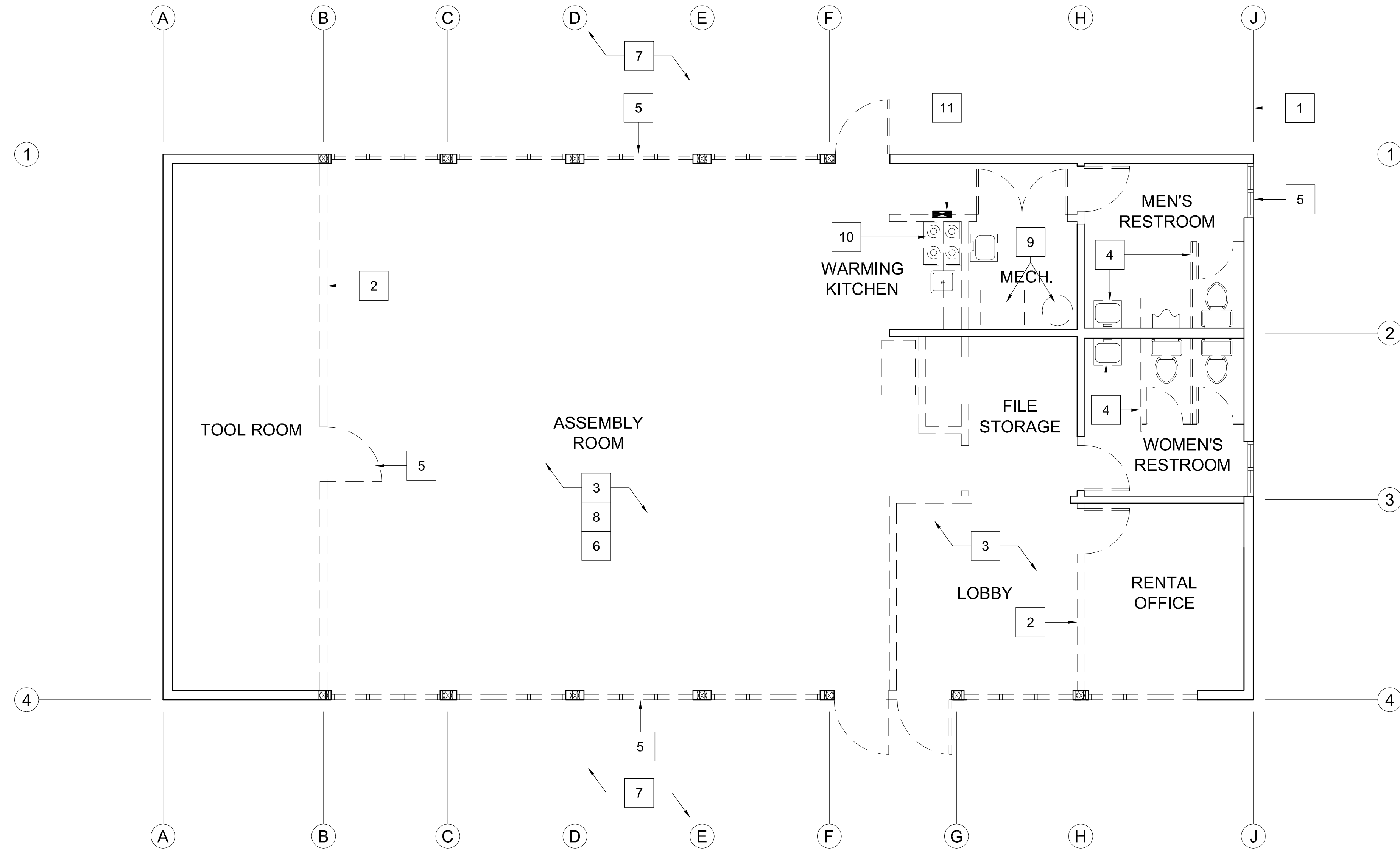
SHEET TITLE
DETAILS
(WINDOWS & TRIM)

SCALE: 3" = 1'-0"

SHEET #

A9.04

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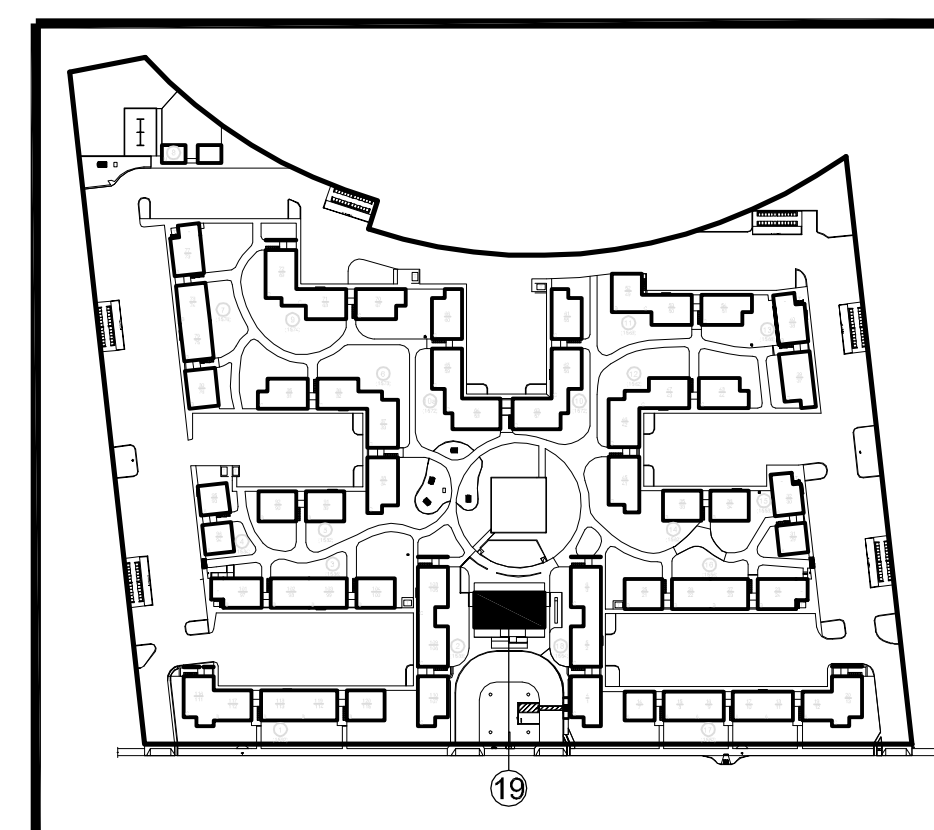


DEMOLITION FLOOR PLAN (COMMON BUILDING)

DEMOLITION KEYNOTES

1. ALL GRID LINES ARE TO EXTERIOR FACE OF PERIMETER WALL STUD / CENTER OF INTERIOR WALL STUD U.O.N.
2. DASHED LINES INDICATE EXTENT OF DEMOLITION.
3. REMOVE ALL FLOORING DOWN TO CONCRETE.
4. REMOVE ALL PLUMBING FIXTURES, PARTITIONS AND ACCESSORIES. REMOVE FRP / TILE WALL COVERINGS DOWN TO GYPSUM BOARD AND REPAIR AS REQUIRED.
5. REMOVE ALL INTERIOR AND EXTERIOR WINDOWS AND DOORS / DOOR FRAMES.
6. REMOVE ALL EXISTING LIGHT FIXTURES AND AIR GRILLES.
7. DEMOLISH ALL EXISTING PLYWOOD SIDING, SOFFITS AND FASCIAS.
8. SCRAPE TEXTURE OFF GYPSUM BOARD CEILING.
9. REMOVE EXISTING FURNACE AND WATER HEATER AND DEMOLISH NON-COMPLIANT PLATFORM. DEMOLISH ALL EXISTING DUCTWORK.
10. DEMOLISH EXISTING KITCHENETTE.
11. DISCONNECT AND REMOVE EXISTING ELECTRICAL PANEL.

BUILDING KEY PLAN



PROJECT

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PROJECT MANAGER

BDF

DRAWN BY

DDL

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SHEET TITLE

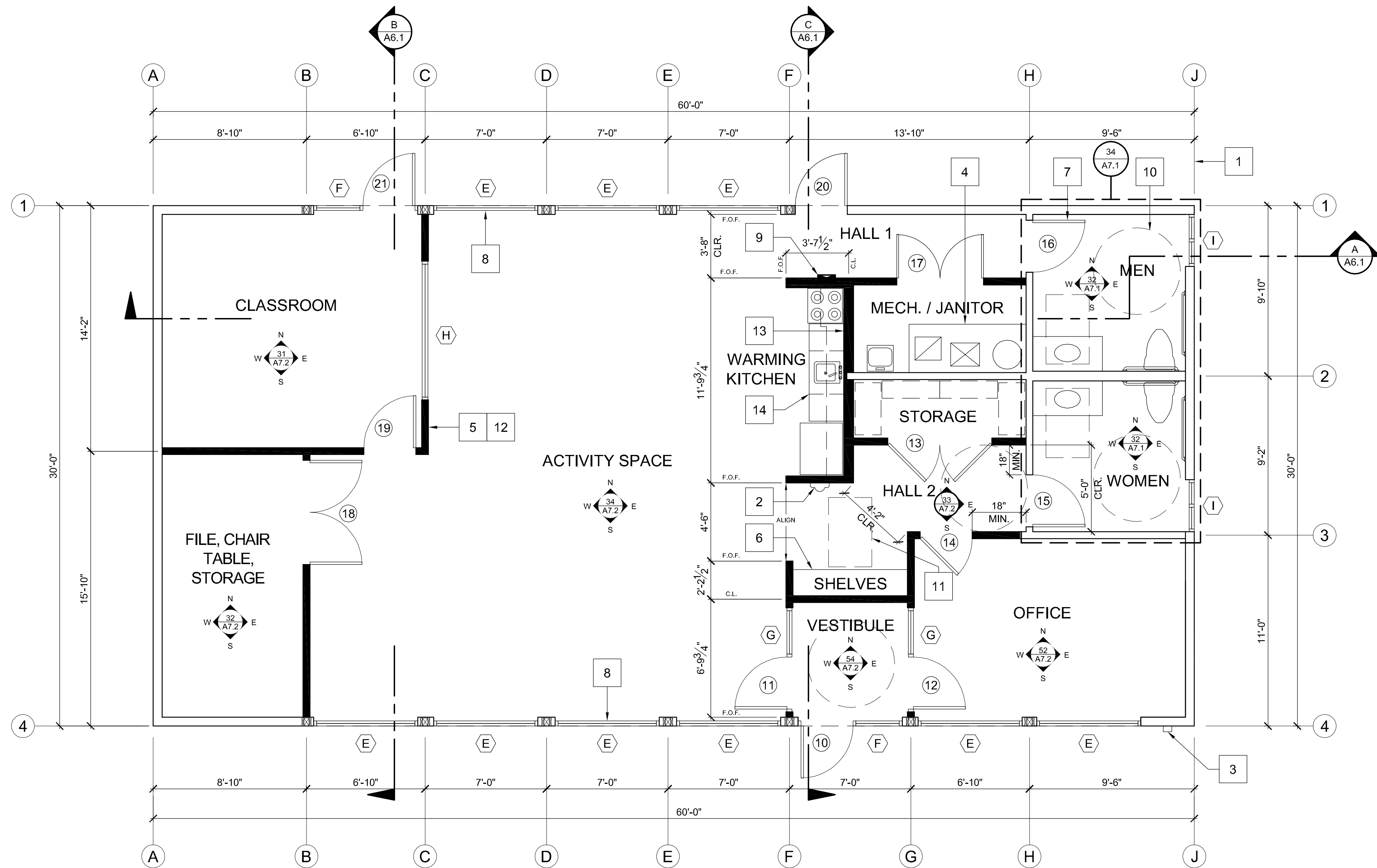
DEMOLITION
FLOOR PLAN
(COMMON BUILDING)

SCALE: 1/4" = 1'-0"

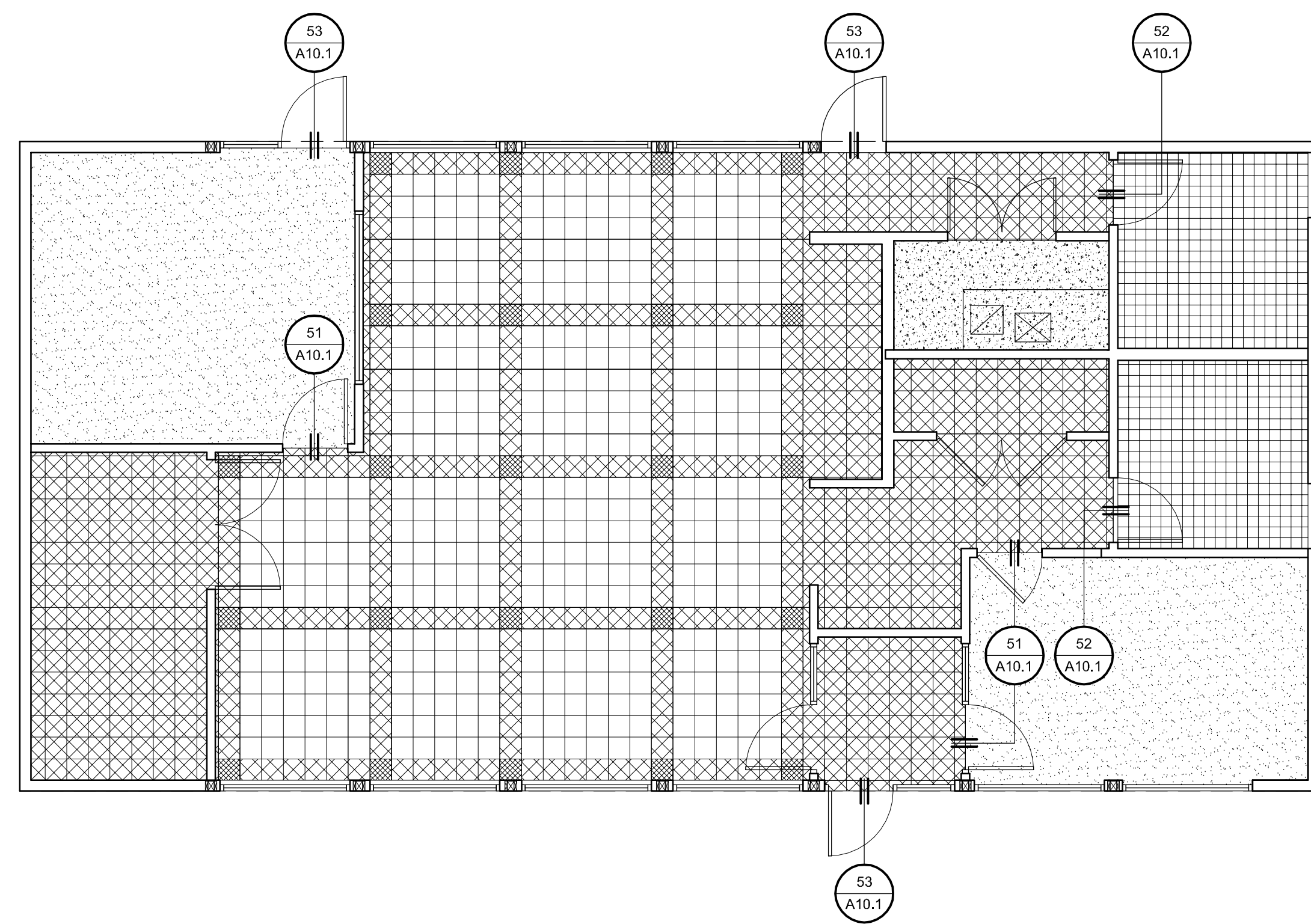
SHEET #

A2.0

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REMODEL FLOOR PLAN (COMMON BUILDING)



FLOOR FINISH PLAN (COMMON BUILDING)

3/16"=1'-0"

FLOOR FINISH LEGEND

- CAR-2: LEVEL LOOP CARPET, 26 OZ.
- CT-1: 6"x6" CERAMIC TILE
- RF-3: 12"x12" COMM. GRADE VCT, COLOR 1
- RF-4: 12"x12" COMM. GRADE VCT, COLOR 2
- RF-5: 12"x12" COMM. GRADE VCT, COLOR 3
- SC-1: SEALED CONCRETE

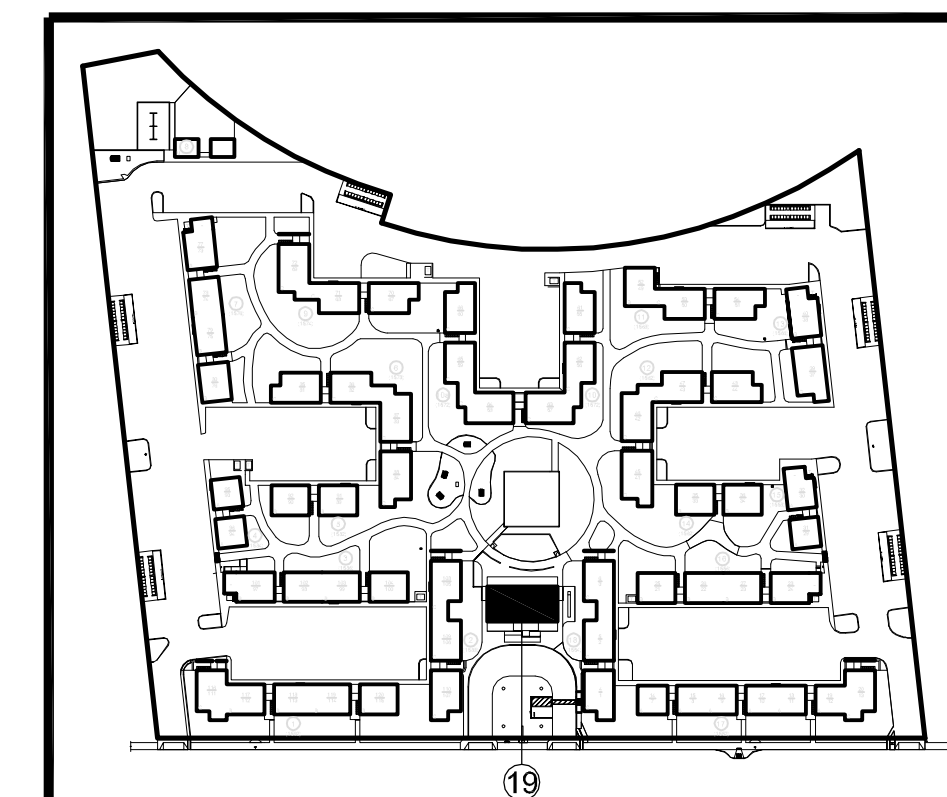
NOTE: SEE SHEET A8.1 FOR FINISH SCHEDULE

- (X) SEE DOOR SCHEDULE SHEET A8.1
- (X) SEE WINDOW SCHEDULE SHEET A8.1

FLOOR PLAN KEYNOTES

- ALL GRID LINES AND DIMENSIONS ARE TO EXTERIOR FACE OF PERIMETER WALL STUD / CENTER OF INTERIOR WALL STUD U.O.N.
- TYPE 2A10BC FIRE EXTINGUISHER IN SEMI-RECESSED CABINET PLACED SO TRAVEL DISTANCE DOES NOT EXCEED 75 FEET; 48" MAXIMUM MOUNTING HEIGHT.
- NEW KNOX BOX LOCATION.
- SEE MECHANICAL DRAWINGS FOR NEW PLATFORM, HVAC AND WATER HEATER.
- SHADING INDICATES EXTENT OF NEW NON-BEARING INTERIOR WALLS.
- NEW BUILT IN ADJUSTABLE SHELVES. SEE INTERIOR ELEVATIONS.
- NO LATCH PERMITTED ON THIS DOOR.
- ALL NEW VINYL WINDOWS. SEE WINDOW SCHEDULE ON SHEET A8.1
- NEW ELECTRIC PANEL RECESSED IN 2x6 FRAMED WALL.
- 5' DIAMETER ADA COMPLIANT MANEUVERING AREA.
- 30"x48" MINIMUM CLEAR FLOOR SPACE.
- ALL NEW INTERIOR WALLS ARE 2x4 WOOD STUDS @ 16" O.C. U.O.N.
- 2x6 PLUMBING WALL.
- PROVIDE MIN. 30" WIDE x 27" HIGH x 19" DEEP CLEAR KNEE SPACE FOR FORWARD APPROACH BELOW SINK. SEE DETAIL 34 / A10.1

BUILDING KEY PLAN



PROJECT

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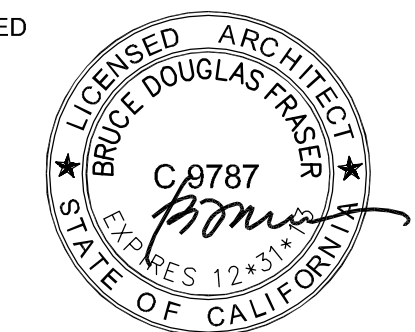
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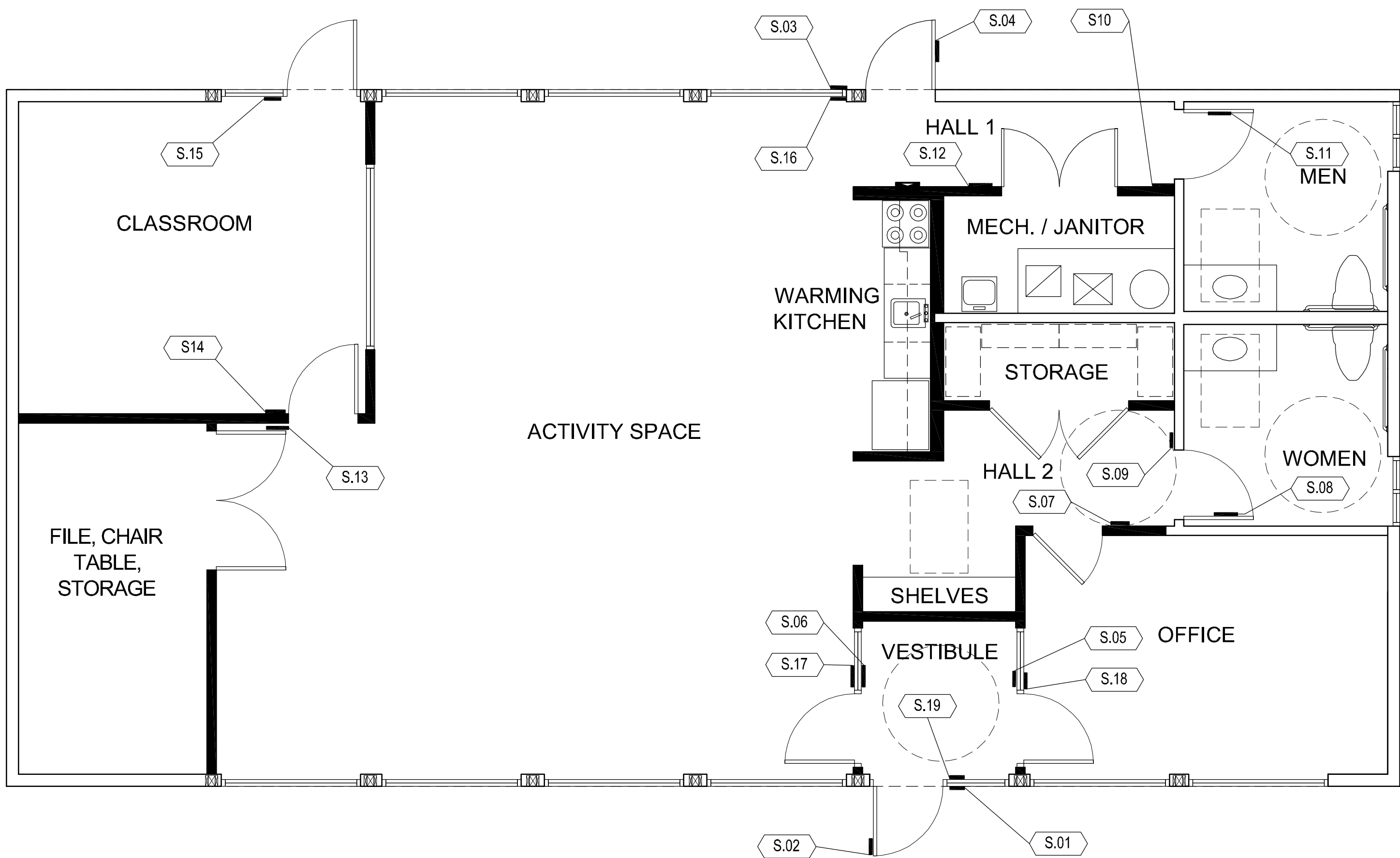
SHEET TITLE
REMODEL
FLOOR PLAN
(COMMON BUILDING)

SCALE: 1/4" = 1'-0"

SHEET #

A2.1

\\UCHN\Madonna Rd Apts 1207\Drawings\0 - Drawing Sheets\A2.2 - Signage Plan.dwg, 10/3/2012 10:47:56 PM



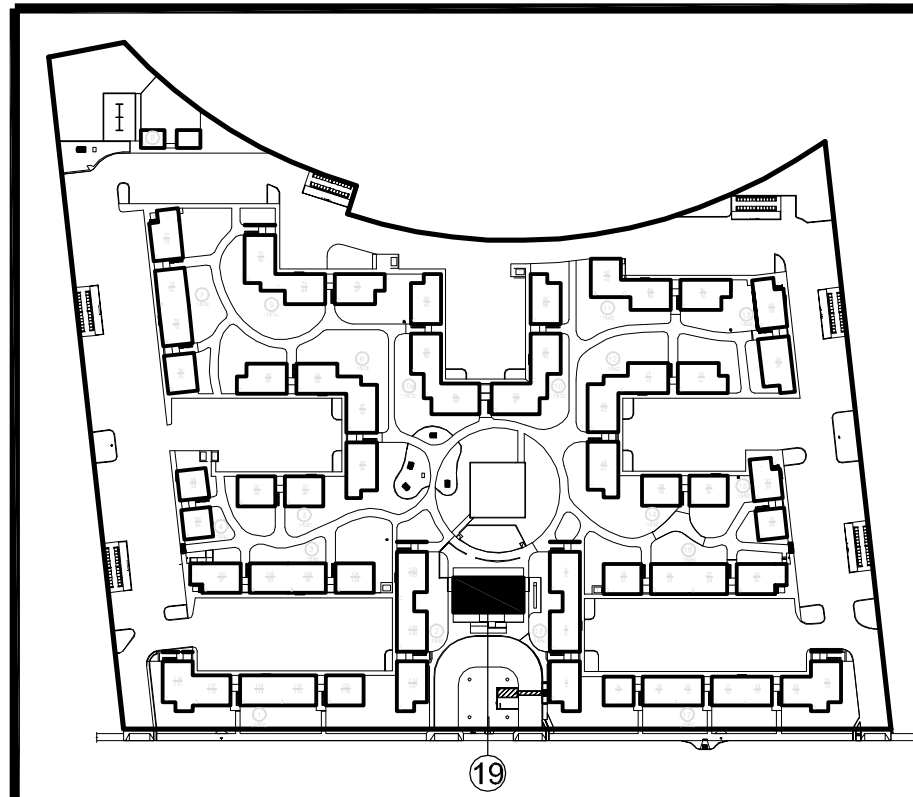
51 SIGNAGE PLAN

SCALE : 1/4" = 1'-0"

SIGN SCHEDULE

SIGN	LOCATION (PUSH / PULL SIDE OF DOOR)	COPY	NOTES
S.01	Glass right of door	Pull MADONNA ROAD APARTMENTS RENTAL OFFICE ACTIVITY CENTER 1550 Madonna Road	2" white vinyl lettering
S.02	Glass on entry/exit door	Pull (international symbol of accessibility)	6 x 6" white on blue"
S.03	Glass right of door	Pull ACTIVITY CENTER	2" white vinyl lettering
S.04	Glass on entry/exit door	Pull (international symbol of accessibility)	6 x 6" white on blue"
S.05	Glass left of door	Push OFFICE in case of emergency call 805 XXX-XXXX	6 x 9 white on grey, Braille for "OFFICE" only
S.06	Glass right of door	Push ACTIVITY CENTER	6 x 9 white on grey, Braille
S.07	Wall left of door	Push STAFF ONLY	6 x 9 white on grey, Braille
S.08	Surface of door	Push (male symbol)	12" triangle, white on grey
S.09	Wall left of door	Push MEN + (male symbol, ISA, Braille)	6 x 9 white on grey, Braille
S.10	Wall right of door	Push WOMEN + (female symbol, ISA, Braille)	6 x 9 white on grey, Braille
S.11	Surface of door	Push (female symbol)	12" circle, white on grey
S.12	Wall right of doors	Pull MECHANICAL EQUIPMENT	6 x 9 white on grey, Braille
S.13	Wall left of door	Push CLASSROOM	6 x 9 white on grey, Braille
S.14	Wall right of door	Push TO EXIT	6 x 6 white on grey, Braille, CBC tactile exit sign
S.15	Glass left of door	Push EXIT	6 x 6 white on grey, Braille, CBC tactile exit sign
S.16	Glass left of door	Push EXIT	6 x 6 white on grey, Braille, CBC tactile exit sign, mount 60" A.F.F.
S.17	Wall left of door	Pull TO EXIT	6 x 6 white on grey, Braille, CBC tactile exit sign
S.18	Wall right of door	Pull TO EXIT	6 x 9 white on grey, Braille, CBC tactile exit sign
S.19	Glass left of door	Push EXIT	6 x 9 white on grey, Braille, CBC tactile exit sign

BUILDING KEY PLAN



PROJECT

MADONNA ROAD APARTMENTS

A RENOVATION AND UPGRADE PROJECT

1550 MADONNA ROAD
SAN LUIS OBISPO, CA

CLIENT JOB #

ARCHITECT JOB #

1207

FRASER SEIPLE
ARCHITECTS

971 OSOS STREET
SAN LUIS OBISPO
CALIFORNIA 93401

805-544-6161

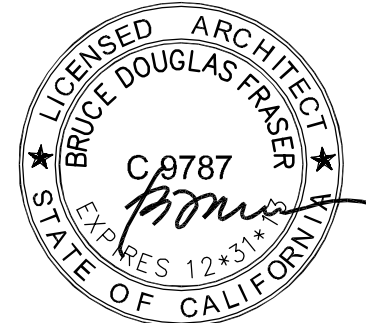
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SHEET TITLE

SIGNAGE PLAN

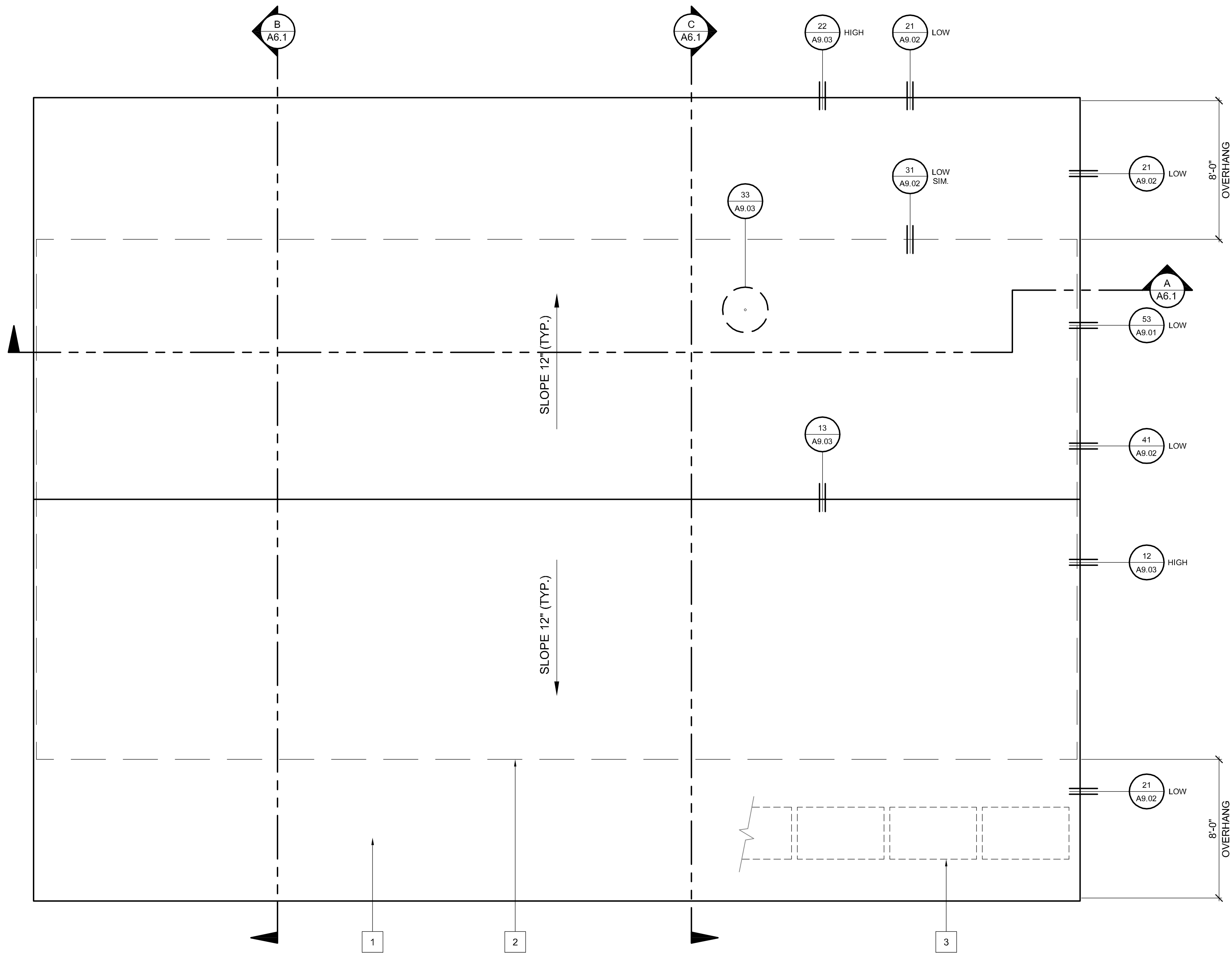
(COMMON BUILDING)

SCALE: 1/4" = 1'-0"

SHEET #

A2.2

\\UCHN\Madonna Rd Apts 1207\Drawings\0 - Drawing Sheets\A3.1 - Roof Plan.dwg 10/3/2012 10:48:32 PM

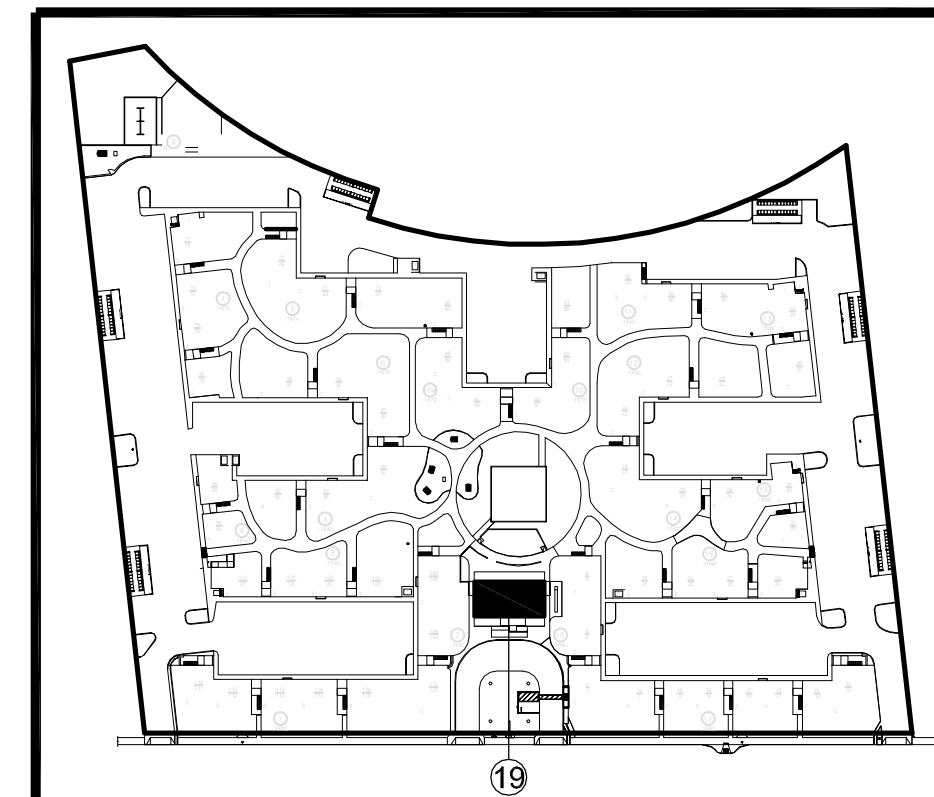


ROOF PLAN (COMMON BUILDING)

ROOF PLAN KEYNOTES

1. NEW SINGLE-PLY ROOF SYSTEM. SEE SHEET **A9.03** FOR MANUFACTURER'S DETAILS. DEMOLISH (E) 4-PLY CAP SHEET ROOF SYSTEM DOWN TO PLYWOOD SHEATHING.
2. EXTERIOR WALL BELOW.
3. COORDINATE LOCATION OF ROOF WALKWAY PADS IN FIELD IN CONJUNCTION WITH PHOTOVOLTAIC SYSTEM INSTALLATION.

BUILDING KEY PLAN



PROJECT

**MADONNA
ROAD
APARTMENTS**

**A RENOVATION AND
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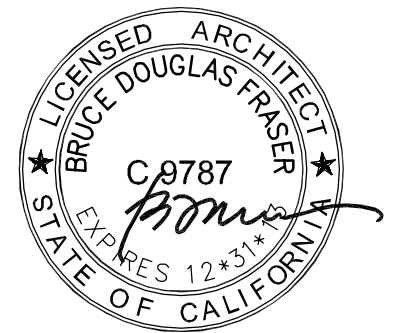
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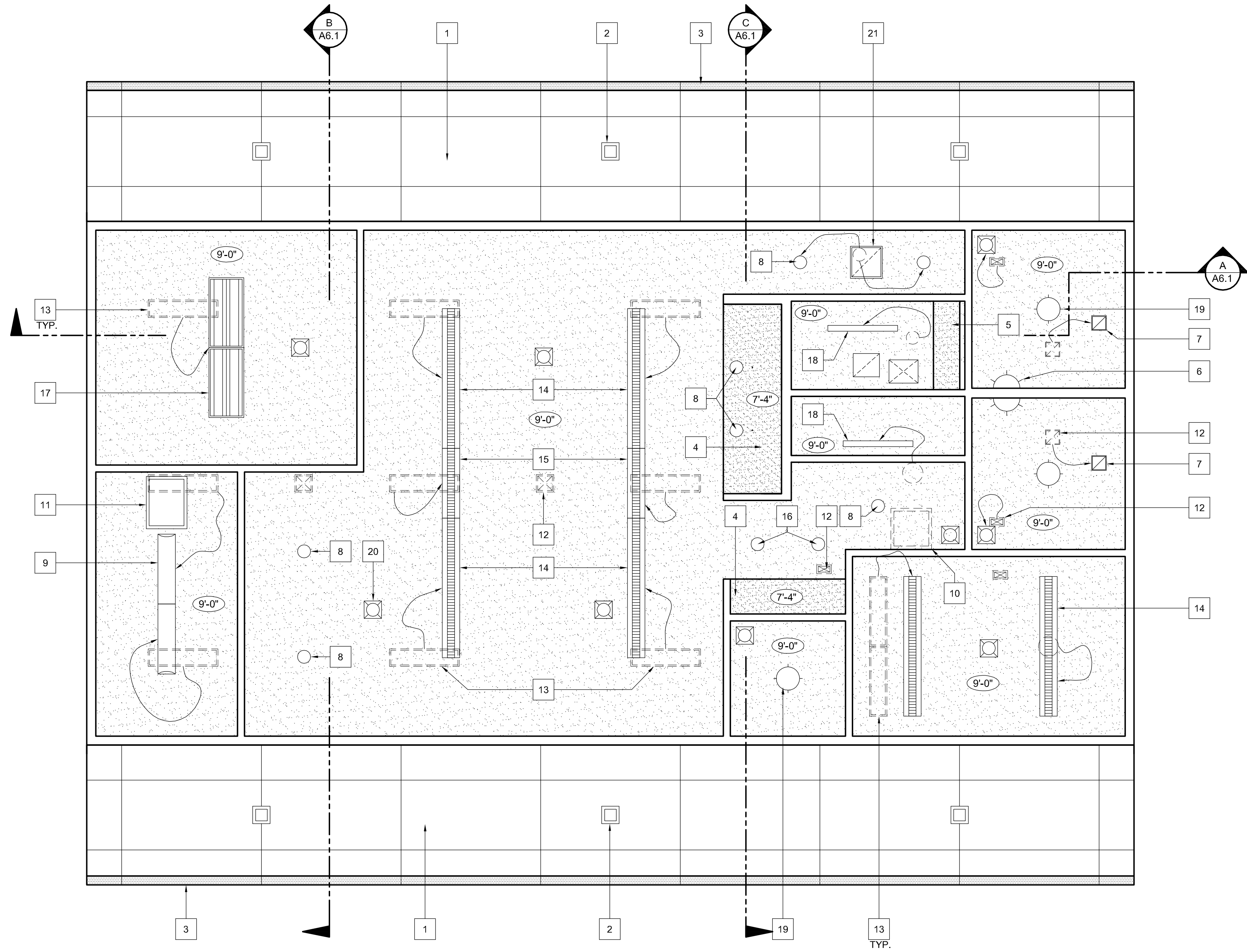
SHEET TITLE
ROOF PLAN
(COMMON BUILDING)

SCALE: 1/4" = 1'-0"

SHEET #

A3.1

\\UOHN\Madonna Rd Apts 1207\Drawings\0 - Drawing Sheets\A4.1 - Reflected Ceiling Plans.dwg 10/3/2012 10:49:08 PM

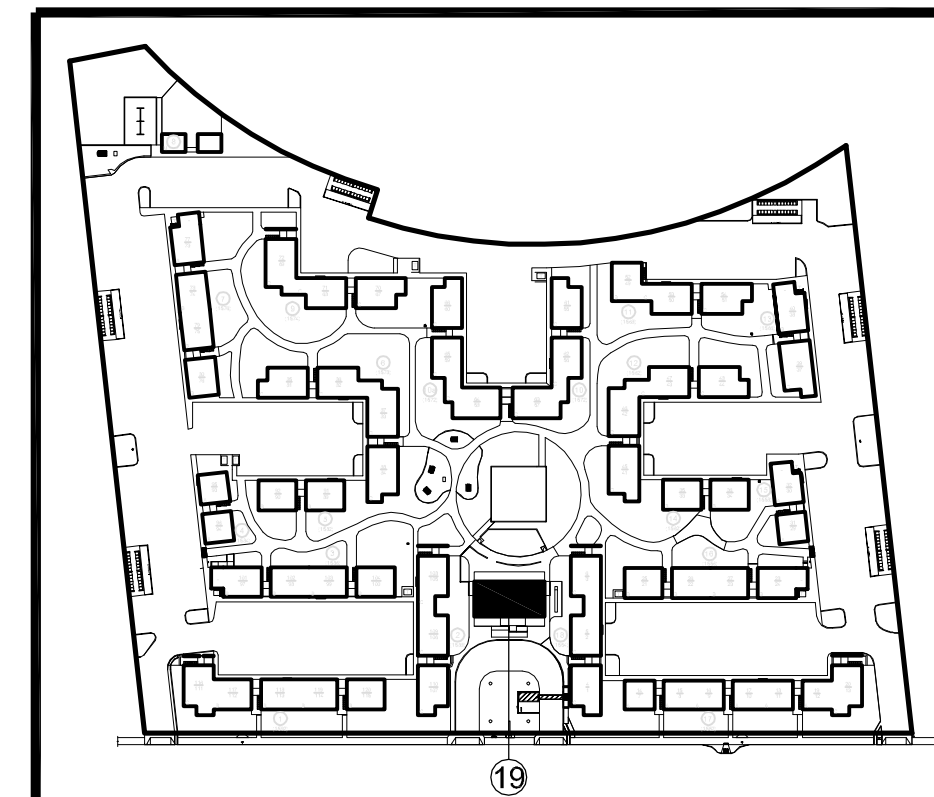


REFLECTED CEILING PLAN (COMMON BUILDING)

REFLECTED CEILING KEYNOTES:

1. NEW 48"x96" PANELIZED SOFFIT.
2. REPLACE EXISTING SOFFIT FIXTURES WITH NEW RECESSED VANDAL RESISTANT DOWNLIGHTS.
3. 24"x96" PERFORATED PANEL SOFFIT VENT.
4. NEW GYPSUM BOARD SOFFIT AT 7'-4".
5. EXISTING GYPSUM BOARD FLUE TO UNDERSIDE OF ROOF.
6. WALL MOUNT DIRECT / INDIRECT FLUORESCENT VANITY SCONCE WITH ACRYLIC 1/4 DOME.
7. NEW EXHAUST AIR GRILLE.
8. NEW 6" RECESSED FLUORESCENT DOWNLIGHT.
9. 1'x4' LINEAR SURFACE MOUNT FLUORESCENT WITH ACRYLIC DIFFUSER.
10. FRAME IN EXISTING ATTIC ACCESS HATCH AND PATCH CEILING. SEE NOTE 11 FOR LOCATION OF NEW ATTIC ACCESS.
11. NEW 22"x30" ATTIC ACCESS HATCH.
12. REMOVE ALL EXISTING SUPPLY / EXHAUST GRILLS AND DUCTWORK. PATCH CEILING AS REQUIRED.
13. REMOVE EXISTING LIGHT FIXTURE AND PATCH CEILING. SEE ELECTRICAL LIGHTING PLAN FOR NEW FIXTURE SCHEDULE. ARROW INDICATES NEW FIXTURE IS RELOCATED FROM EXISTING JUNCTION BOX.
14. 1'x8' LINEAR SURFACE MOUNT DIRECT / INDIRECT FLUORESCENT FIXTURE.
15. 1'x4' LINEAR SURFACE MOUNT DIRECT / INDIRECT FLUORESCENT FIXTURE.
16. 6" RECESSED ADJUSTABLE FLUORESCENT DOWNLIGHT / SPOTLIGHT.
17. 2'x4' VOLUMETRIC SURFACE MOUNT INDIRECT FLUORESCENT.
18. 4"x48" SURFACE MOUNT CORRIDOR FLUORESCENT WITH ACRYLIC WRAPAROUND.
19. 18" DIAMETER SURFACE MOUNT FLUORESCENT DIRECT / INDIRECT WITH SPOT DOWNLIGHT AND ACRYLIC BOWL.
20. NEW SUPPLY AIR GRILLE.
21. NEW RETURN AIR GRILLE.

BUILDING KEY PLAN



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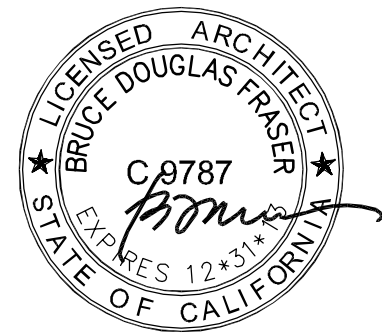
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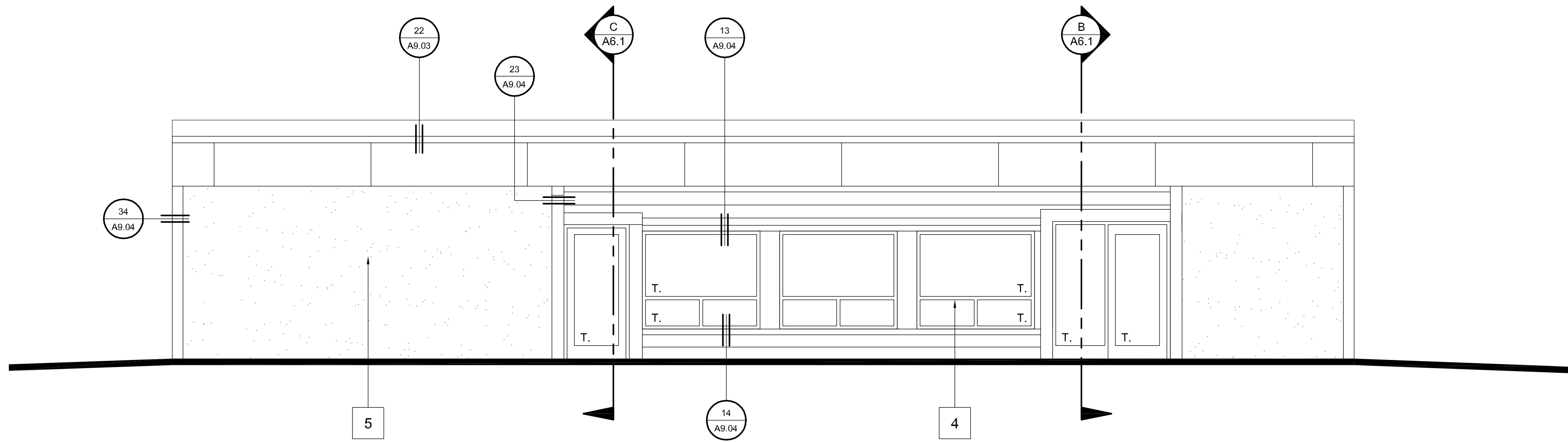
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REFLECTED
CEILING PLAN
(COMMON BUILDING)

SCALE: 1/4" = 1'-0"

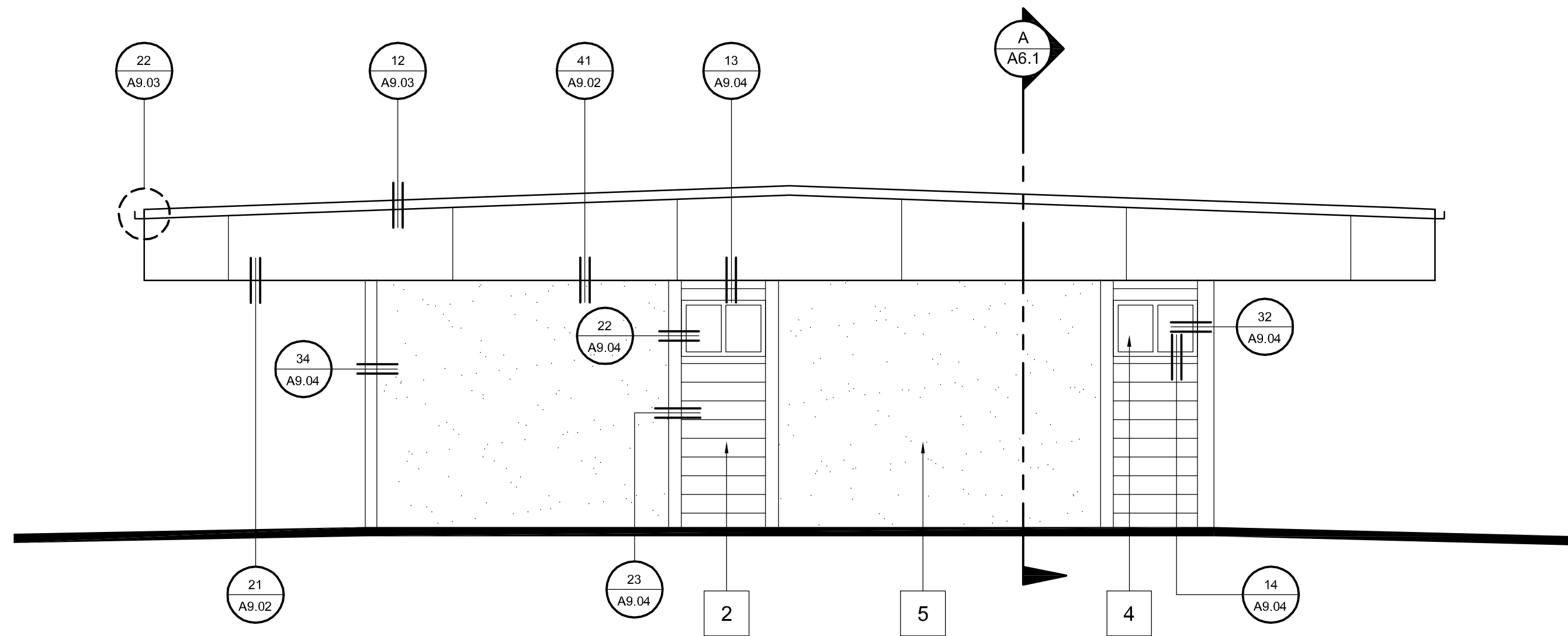
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A4.1

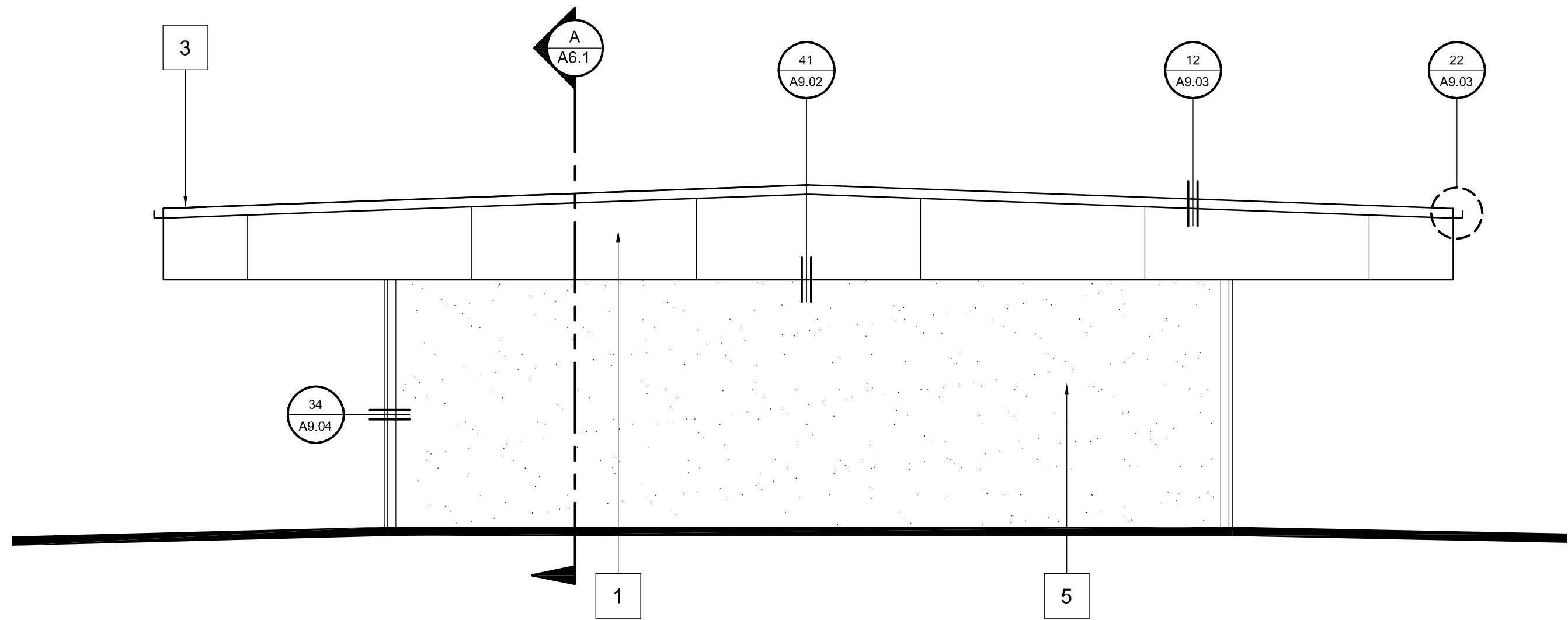
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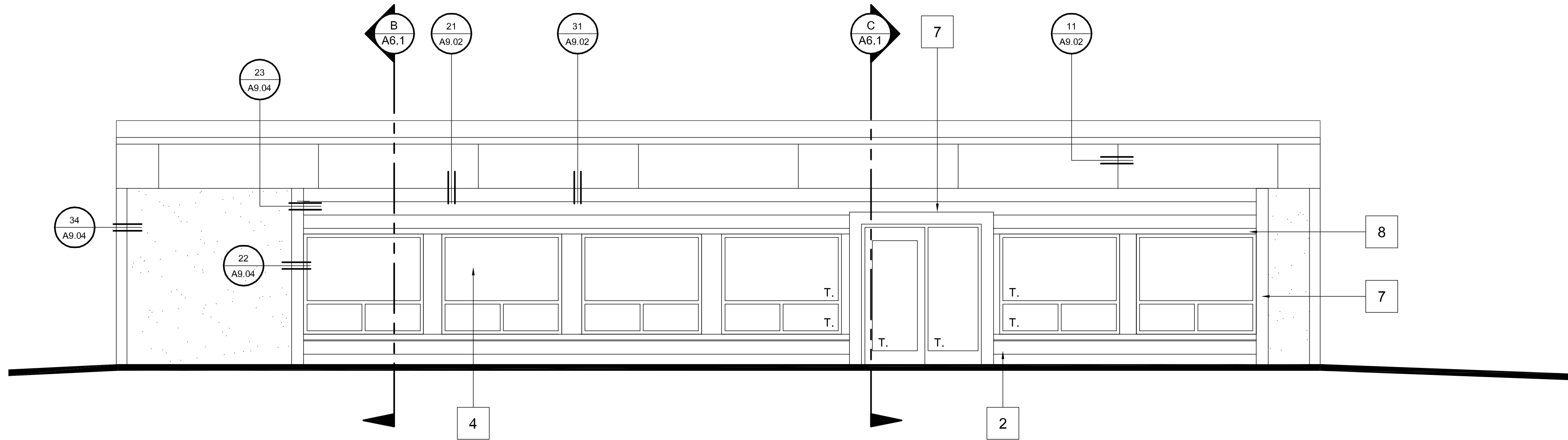
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

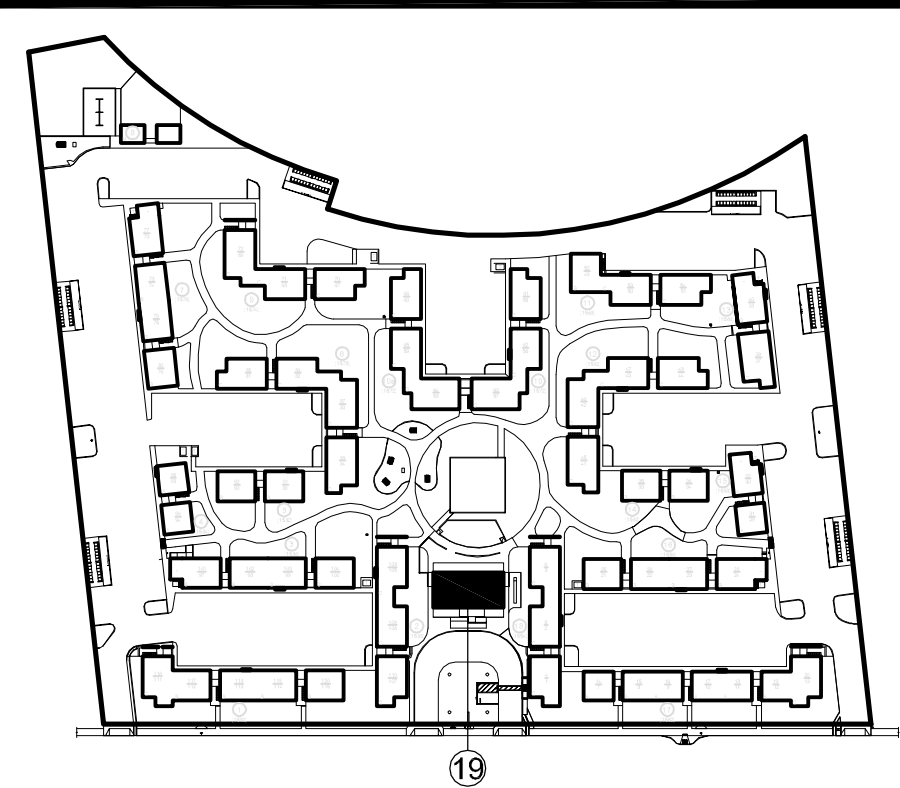


NORTH ELEVATION

ELEVATION KEYNOTES

1. HARDIE REVEAL PANEL SYSTEM COLORPLUS PREFINISHED 7/16" PANELS WITH ALUMINUM REVEALS. SEE SHEET **A9.02** FOR MANUFACTURER'S DETAILS.
2. HARDIPLANK COLORPLUS PREFINISHED SMOOTH 8.25" LAP SIDING. SEE SHEET **A9.1** FOR MANUFACTURER'S DETAILS.
3. NEW SINGLE PLY ROOF. SEE SHEET **A9.03** FOR MANUFACTURER'S DETAILS.
4. NEW DUAL PANE VINYL WINDOWS.
5. PATCH AND COLORMATCH EXISTING 3-COAT STUCCO EXTERIOR AS DIRECTED BY EXTERIOR REPAIR MATRIX. SHEET **A8.02**.
6. HARDITRIM COLORPLUS PREFINISHED, 3/4" x 3 1/2"
7. HARDITRIM COLORPLUS PREFINISHED, 3/4" x 7 1/4"
8. HARDITRIM COLORPLUS PREFINISHED, 3/4" x 5 1/4"

BUILDING KEY PLAN



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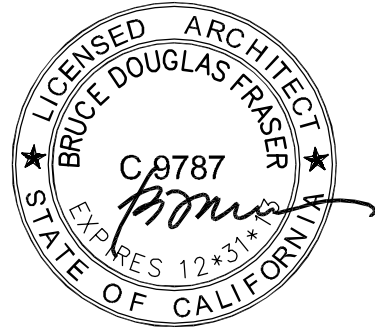
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SHEET TITLE

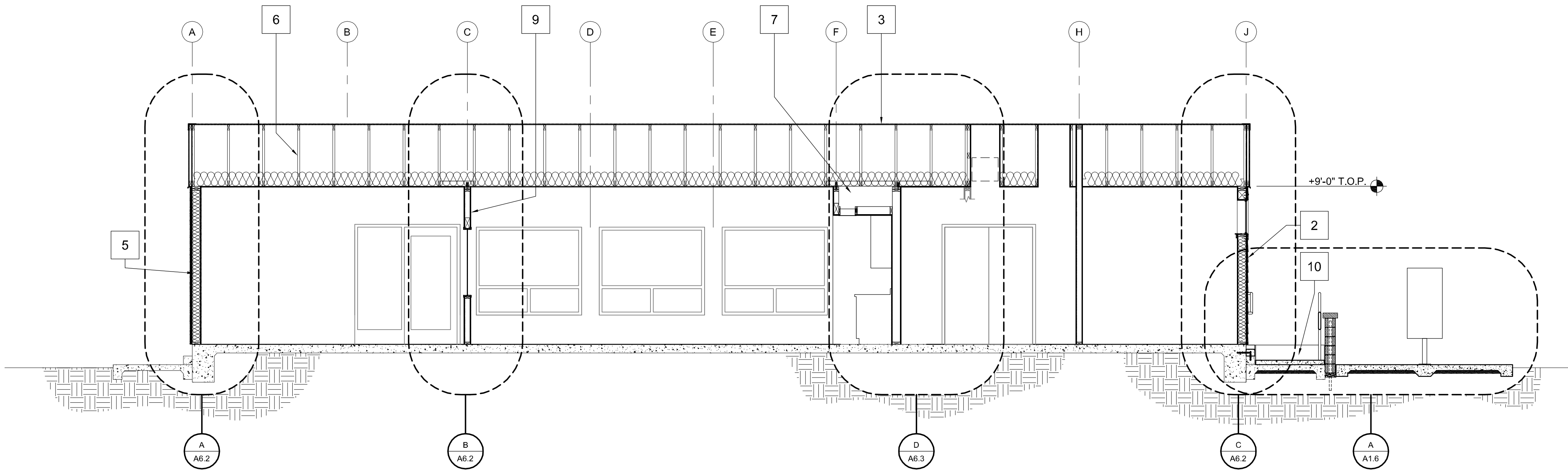
EXTERIOR
ELEVATIONS
(COMMON BUILDING)

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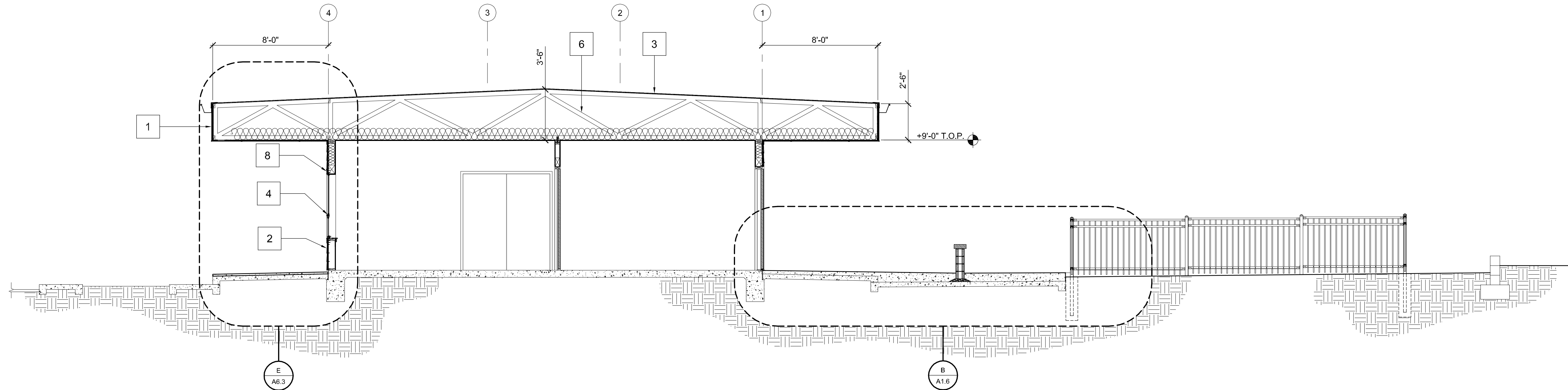
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A5.1

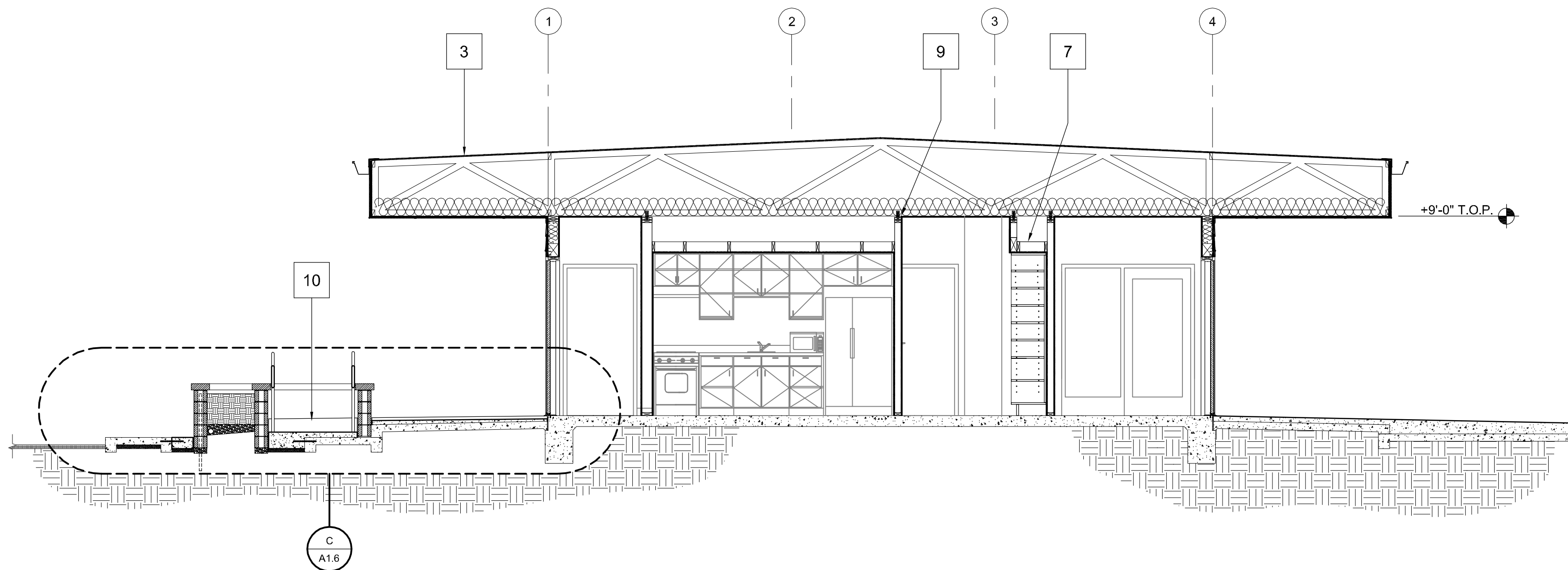
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SECTION A (COMMON BUILDING)



SECTION B (COMMON BUILDING)

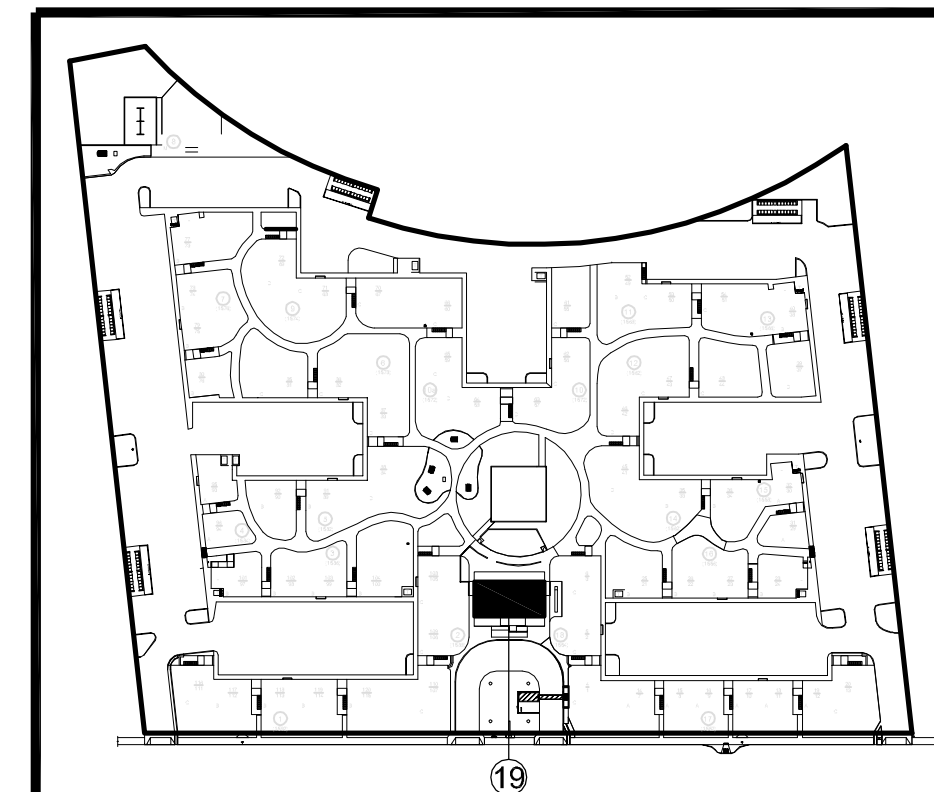


SECTION C (COMMON BUILDING)

SECTION KEYNOTES

1. HARDIE REVEAL PANEL SYSTEM COLORPLUS
PREFINISHED 7/16" PANELS WITH ALUMINUM REVEALS.
SEE SHEET **A9.02** FOR MANUFACTURER'S DETAILS.
2. HARDIPLANK COLORPLUS PREFINISHED SMOOTH 8.25"
LAP SIDING, SEE SHEET **A9.01** FOR MANUFACTURER'S
DETAILS.
3. DEMOLISH EXISTING 4-PLY CAP SHEET ROOF DOWN TO
PLYWOOD SHEATHING. INSTALL NEW SINGLE-PLY
MEMBRANE ROOF OVER 1/4" DENSDECK. SEE SHEET
A9.03 FOR MANUFACTURER'S DETAILS.
4. NEW DUAL PANE VINYL WINDOWS.
5. PATCH AND COLORMATCH EXISTING 3-COAT STUCCO
EXTERIOR AS DIRECTED BY EXTERIOR REPAIR MATRIX,
SHEET **A8.02**.
6. EXISTING ROOF TRUSSES.
7. NEW SOFFIT FRAMING.
8. HARDITRIM COLORPLUS PREFINISHED, 3/4" x 5 1/4"
9. NEW NON-BEARING PARTITION WALL
10. NEW ACCESS RAMP

BUILDING KEY PLAN



PROJECT

MADONNA ROAD APARTMENTS

A RENOVATION AND
UPGRADE PROJECT

1550 MADONNA ROAD
SAN LUIS OBISPO, CA

CLIENT JOB #

ARCHITECT JOB #

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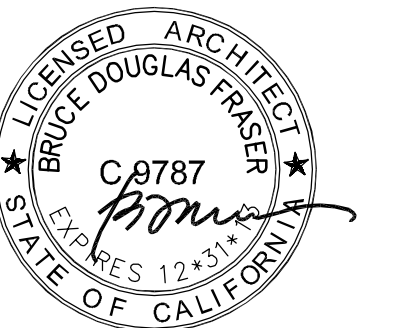
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SHEET TITLE

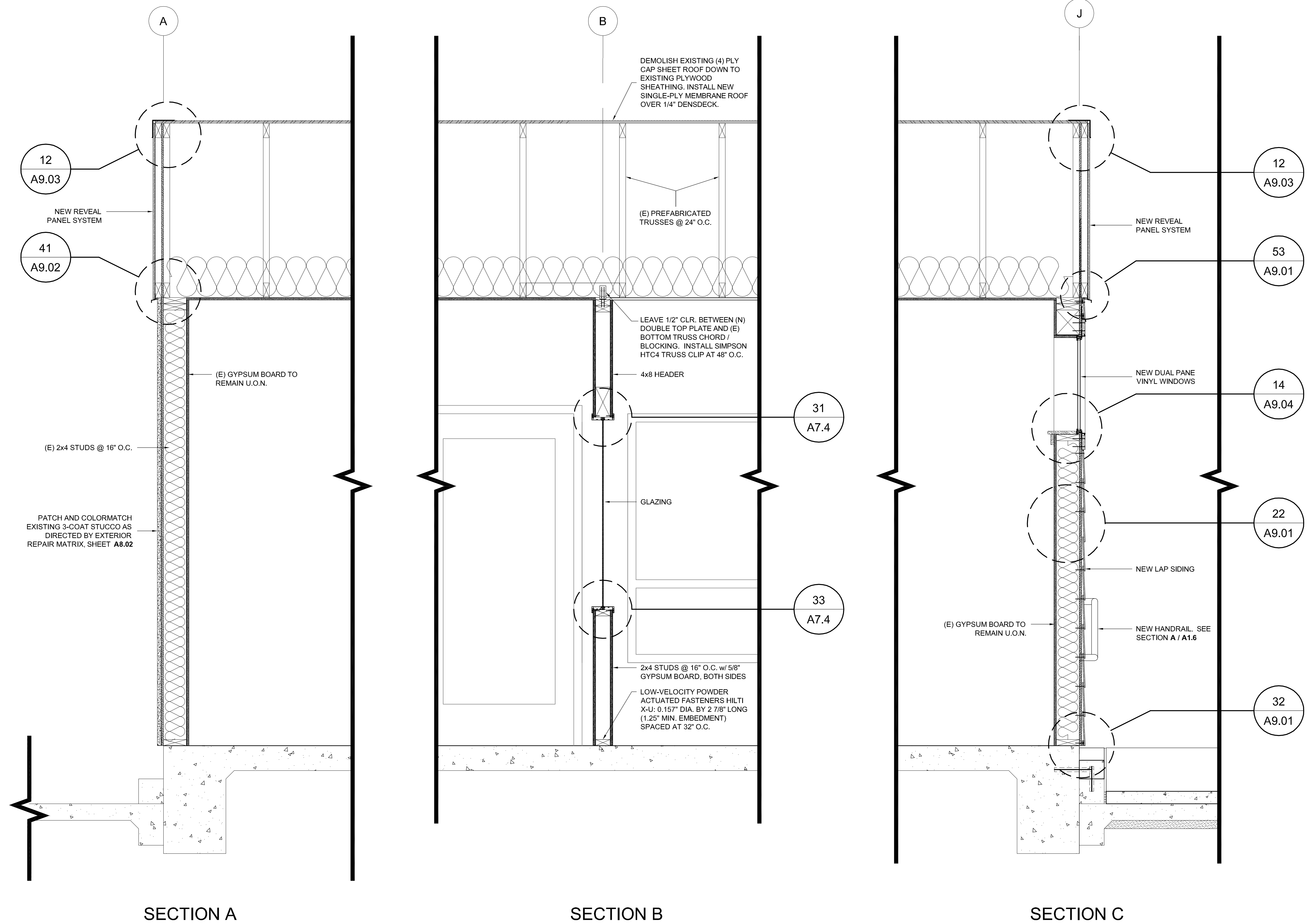
**BUILDING
SECTIONS**
(COMMON BUILDING)

SCALE: 1/4" = 1'-0"

SHEET #

A6.1

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PROJECT

MADONNA ROAD APARTMENTS

A RENOVATION AND UPGRADE PROJECT

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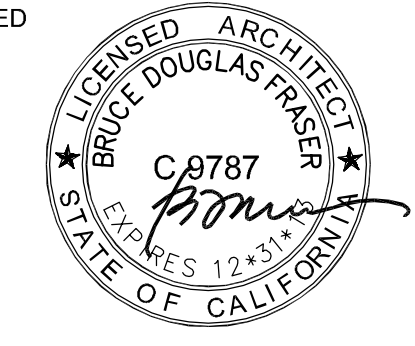
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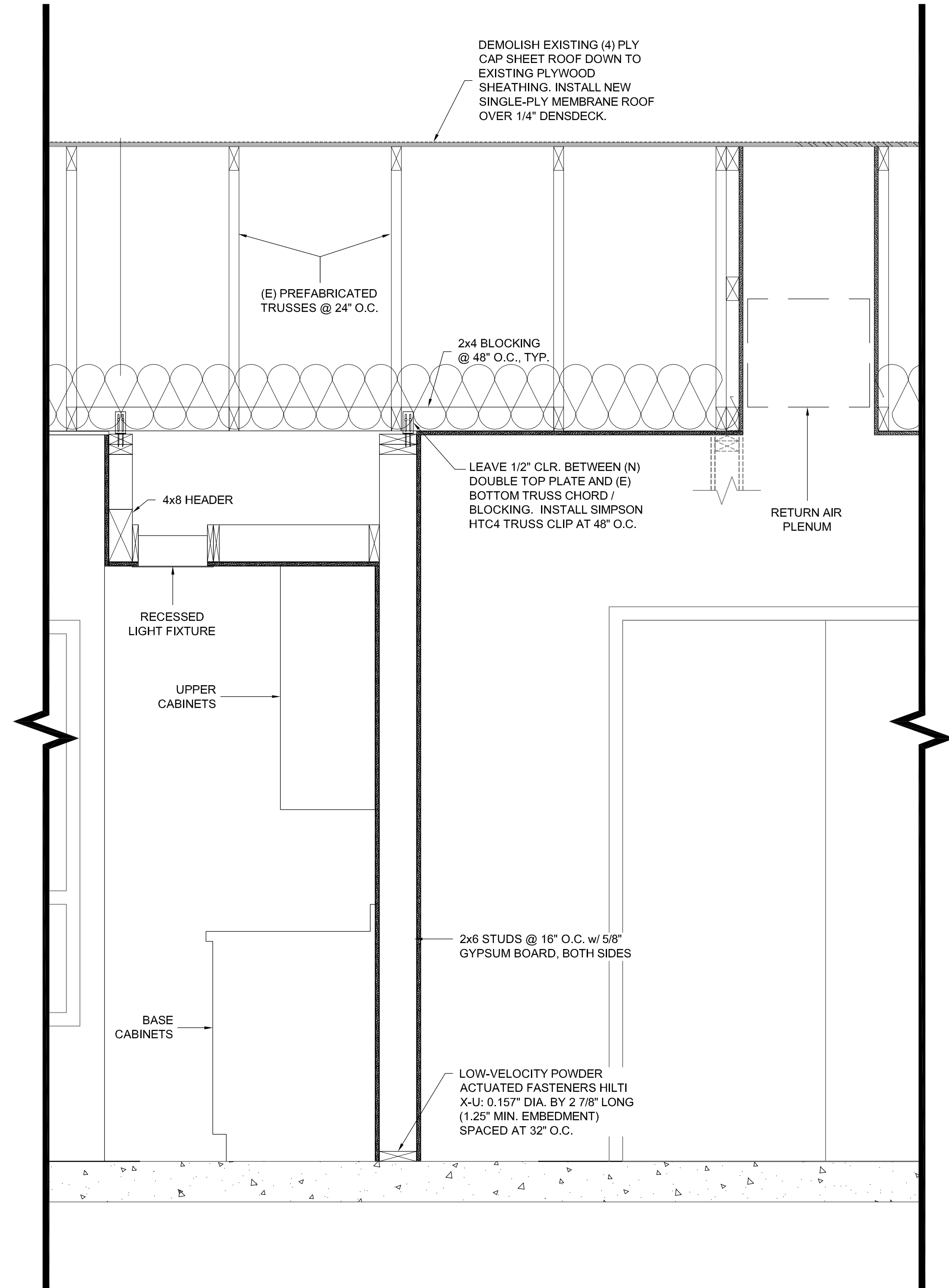
WALL SECTIONS
(COMMON BUILDING)

SCALE: 1" = 1'-0"

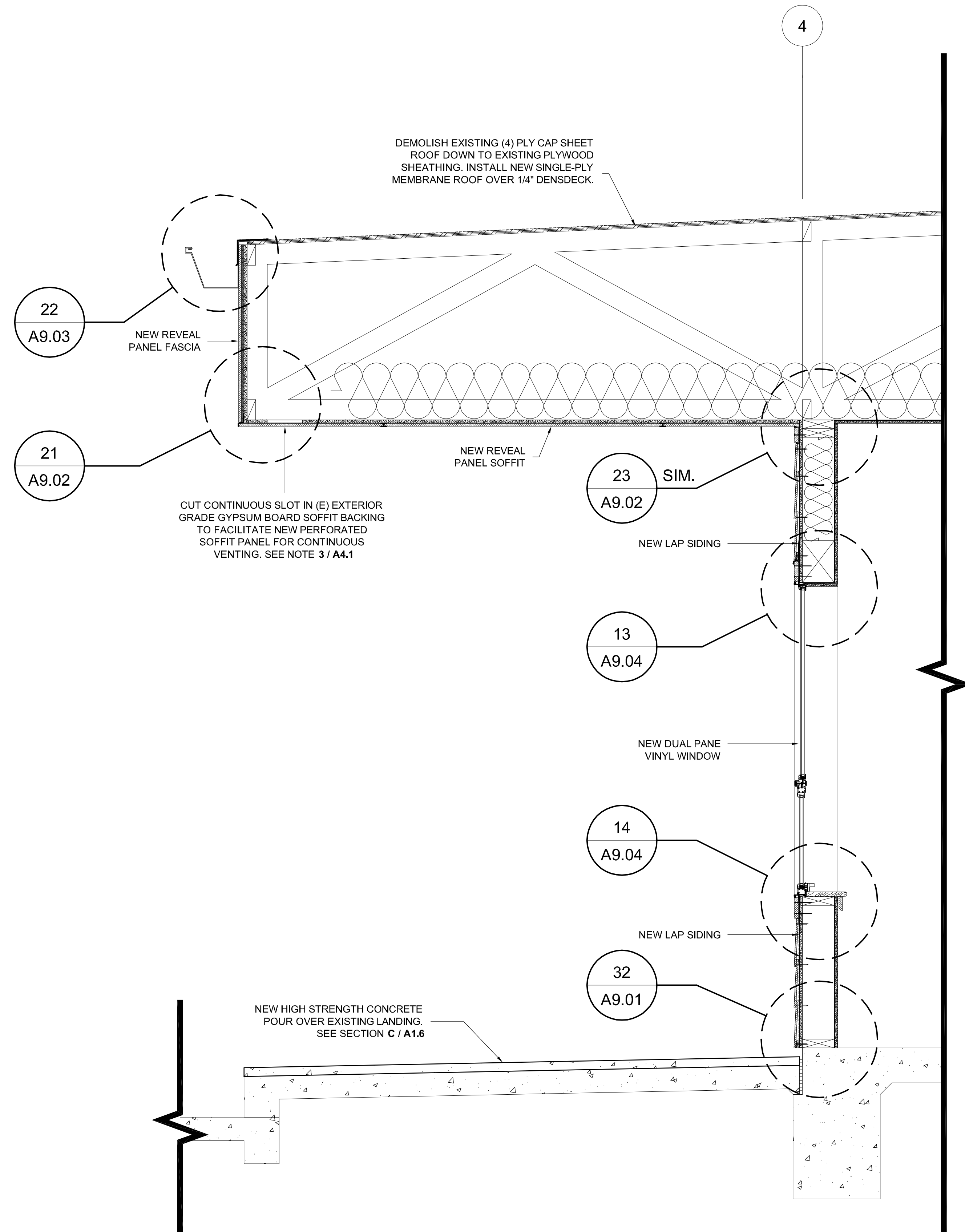
SHEET #

A6.2

\\UCHN\Madonna Rd Apts 1207\Drawings\0 - Drawing Sheets\A6.2 - Wall Sections.dwg, 10/3/2012 10:51:29 PM



SECTION D



SECTION E

PROJECT

MADONNA ROAD APARTMENTS

A RENOVATION AND
UPGRADE PROJECT

1550 MADONNA ROAD
SAN LUIS OBISPO, CA

CLIENT JOB # ARCHITECT JOB #
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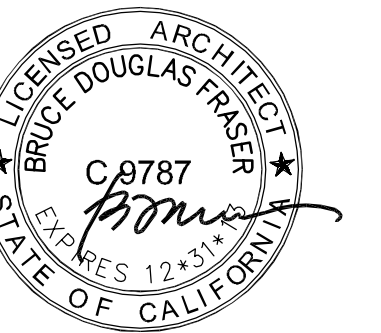
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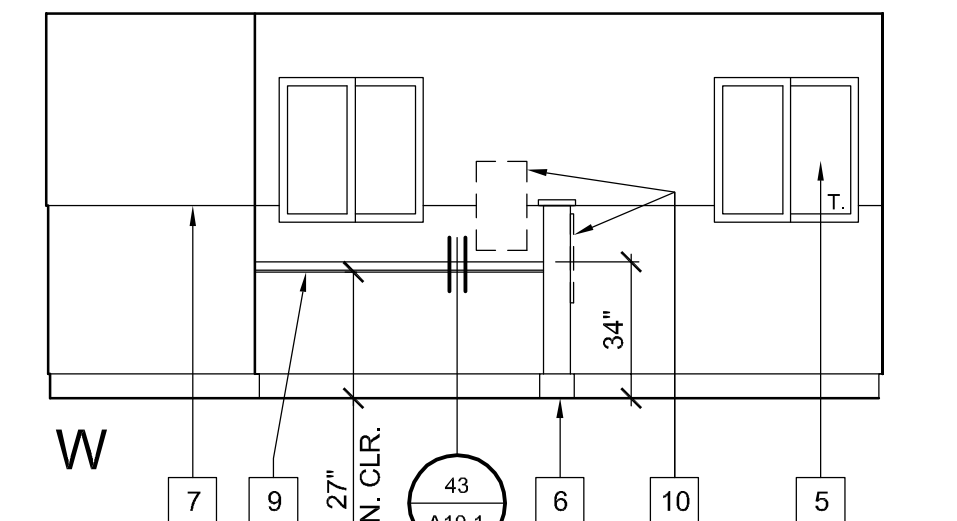
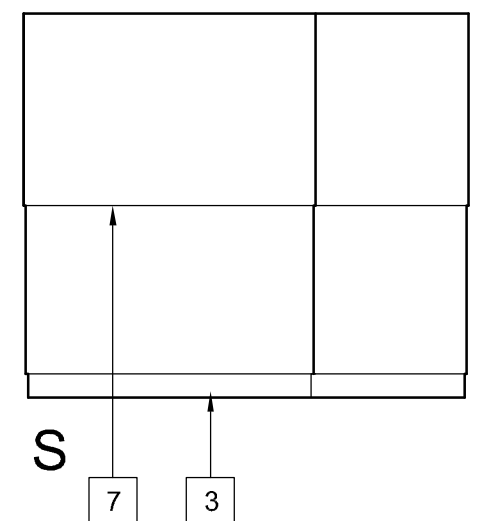
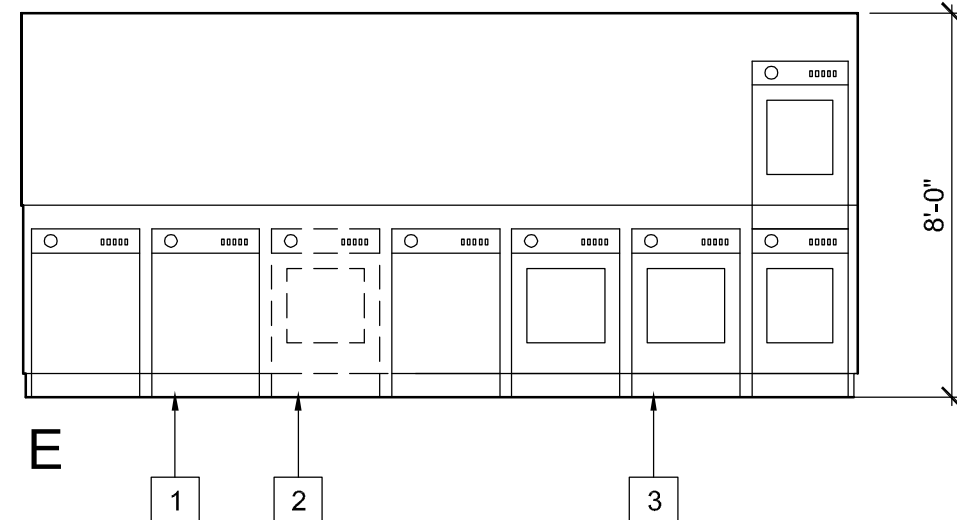
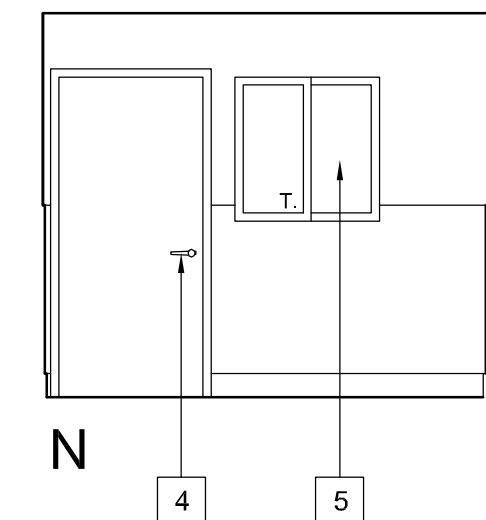
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SHEET TITLE
**WALL
SECTIONS**
(COMMON BUILDING)

SCALE: 1" = 1'-0"

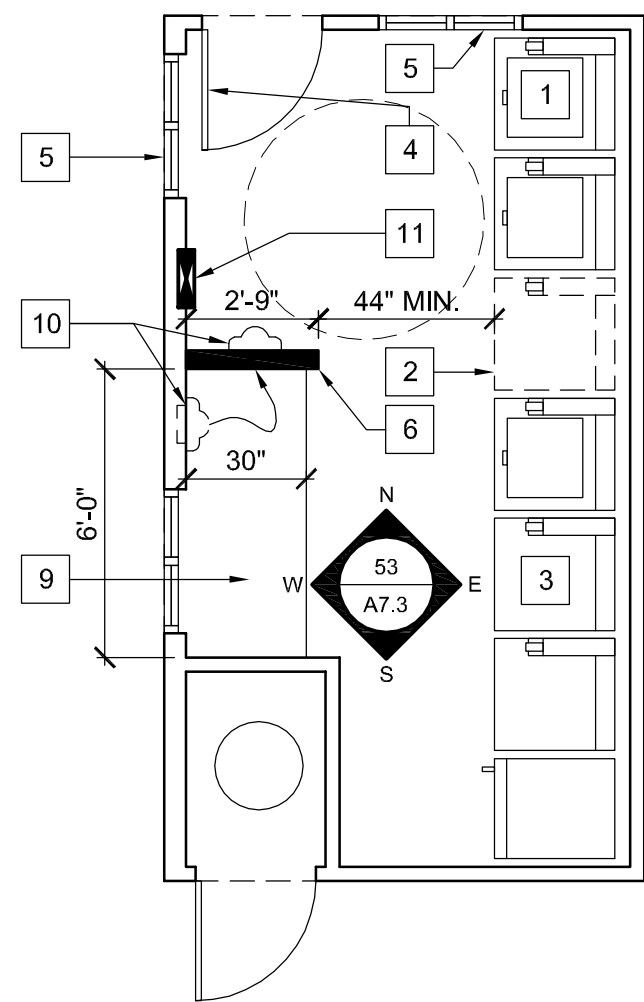
SHEET #

A6.3



53 LAUNDRY ROOM 1 ELEVATIONS (ACCESSIBILITY UPGRADES)

SCALE : 1/4" = 1'-0"

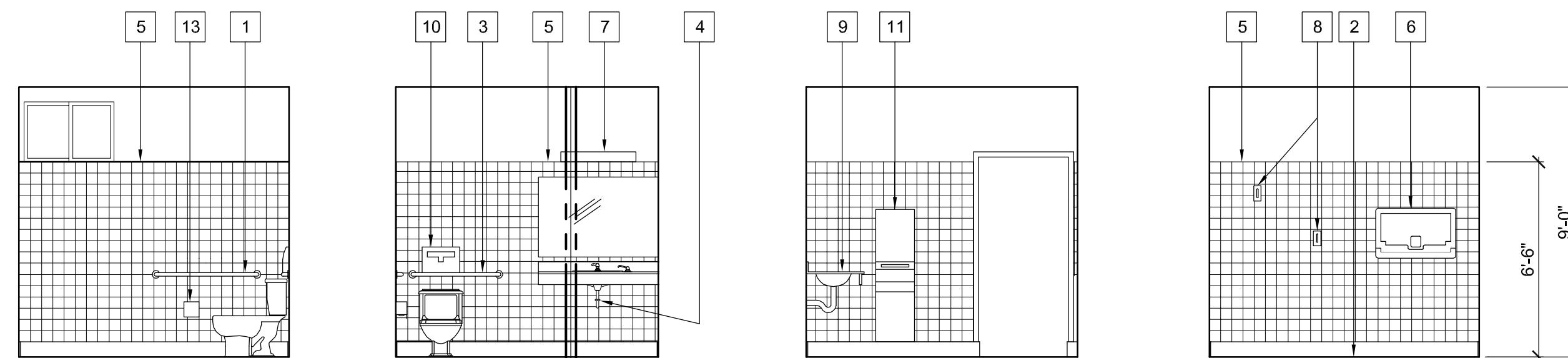


LAUNDRY ROOM KEYNOTES

- CLOTHES WASHER.
- REPLACE (1) EXISTING WASHER WITH AN ACCESSIBLE FRONT LOAD WASHER.
- FRONT LOAD CLOTHES DRYER.
- NEW DOOR WITH LEVER ACTION HARDWARE. SEE NOTES ON SHEET A8.1
- EXISTING OPERABLE WINDOW; TEMPERED GLAZING REQUIRED WHEN WINDOW IS ADJACENT TO DOOR.
- 48" HIGH 2x6 HALF-WALL WITH HARDWOOD CAP.
- EXISTING 2nd LAYER OF HARDENED GYPSUM BOARD UP TO 48" A.F.F. ALL AROUND.
- ACCESSIBLE SPACE BENEATH SINK
- PLASTIC LAMINATE COUNTERTOP.
- RELOCATE EXISTING TYPE 2-A10.8/C RECESSED FIRE EXTINGUISHER CABINET TO NEW HALF-WALL. MOUNT EXTINGUISHER HANDLE @ +48" A.F.F. MAX.
- EXISTING ELECTRICAL PANEL TO REMAIN.

54 LAUNDRY ROOM 1 FLOOR PLAN (ACCESSIBILITY UPGRADES)

SCALE : 1/4" = 1'-0"

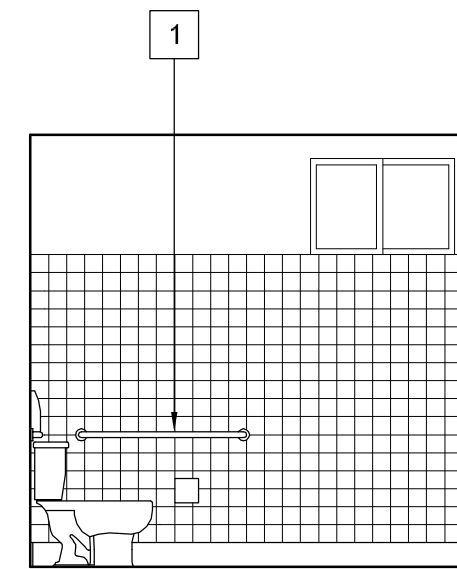


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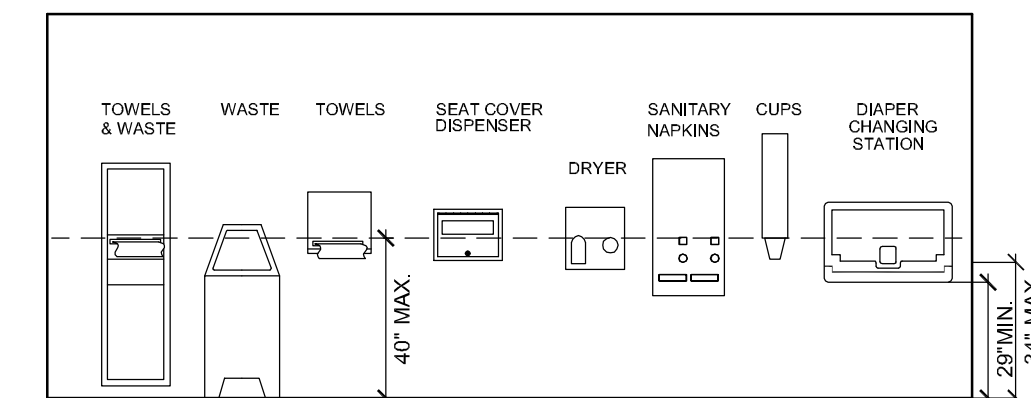
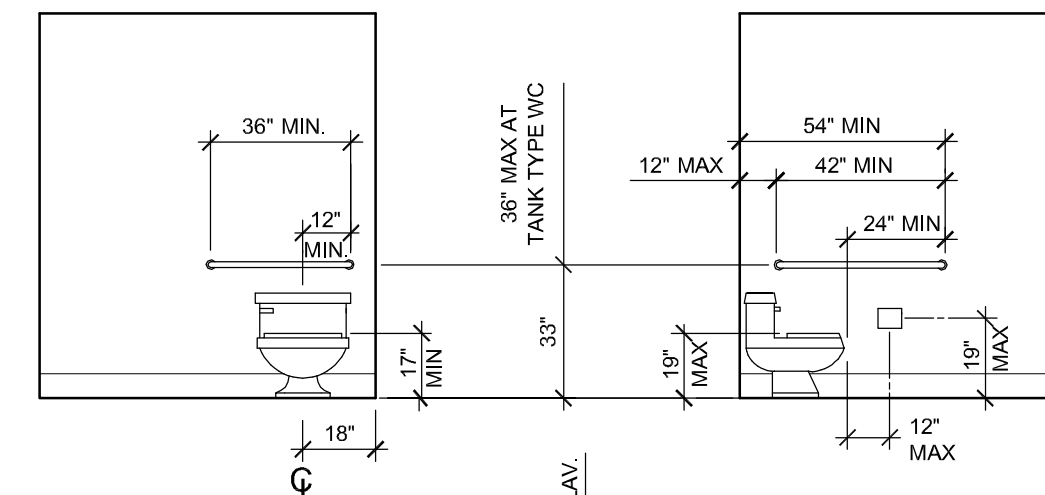
N

INTERIOR ELEVATION KEYNOTES

- 42" MIN GRAB BAR PER ACCESSIBILITY REQUIREMENTS. SEE DETAIL 42 / A10.1.
- 6" COVERED TILE WALL BASE.
- 36" MIN GRAB BAR PER ACCESSIBILITY REQUIREMENTS.
- INSULATE DRAIN PIPES AND HOT WATER LINES. EDGE OF TILE AT BOTTOM OF WINDOW, ±6-6" A.F.F., FIELD VERIFY.
- WALL MOUNTED CHANGING TABLE.
- WALL MOUNT LIGHT FIXTURE.
- COAT HOOK. PROVIDE ACCESSIBLE HOOK AT 48" A.F.F.
- CORIAN COUNTER TOP.
- SEAT COVER DISPENSER.
- RECESSED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE.
- COUNTER MOUNTED SOAP DISPENSER.
- TOILET PAPER DISPENSER.

32 RESTROOM INTERIOR ELEVATIONS (COMMON BUILDING)

SCALE : 1/4" = 1'-0"

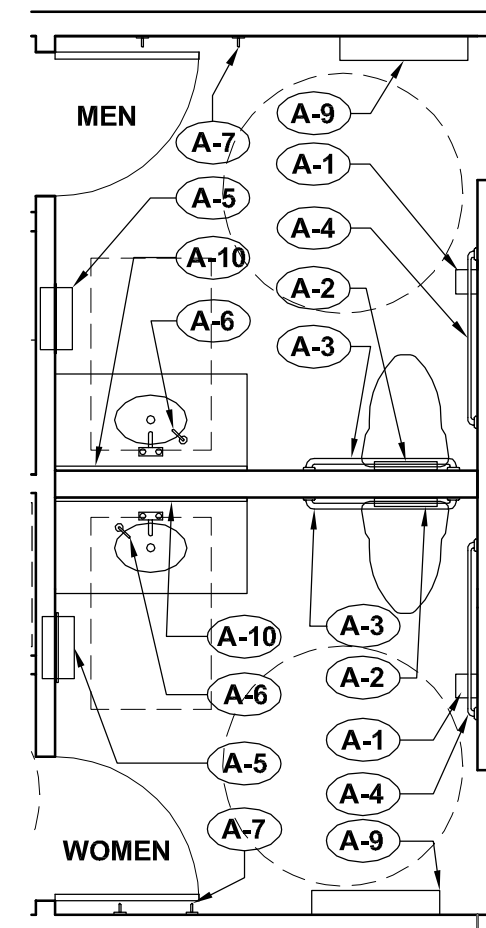


ACCESSIBILITY NOTES

- MOUNT MIRROR(S) WITH THE BOTTOM EDGE NO HIGHER THAN 40" ABOVE FLOOR.
- LOCATE OPERABLE PARTS (INCLUDING COIN SLOTS) OF ALL FIXTURES OR ACCESSORIES A MAXIMUM OF 40" ABOVE FLOOR: SOAP DISPENSERS, TOWELS, TOILET SEAT COVERS, AUTO DRYERS, SANITARY NAPKIN DISPENSERS, WASTE RECEPTACLES.
- CONTROLS AND OPERATING MECHANISMS FOR ALL ITEMS SHALL BE OPERABLE WITH ONE HAND AND NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST.
- THE FORCE REQUIRED TO ACTIVATE CONTROLS FOR ALL ITEMS SHALL BE 5 LBF. MAX.
- LOCATE COAT HOOKS AND SHELVING WITHIN APPROPRIATE REACH RANGES 48" MAX. ABOVE FLOOR.
- IF MEDICINE CABINETS ARE PROVIDED, AT LEAST ONE SHALL HAVE A USABLE SHELF NO HIGHER THAN 44" ABOVE FLOOR.

33 RESTROOM ACCESSIBILITY REQUIREMENTS (COMMON BUILDING)

SCALE : 1/4" = 1'-0"



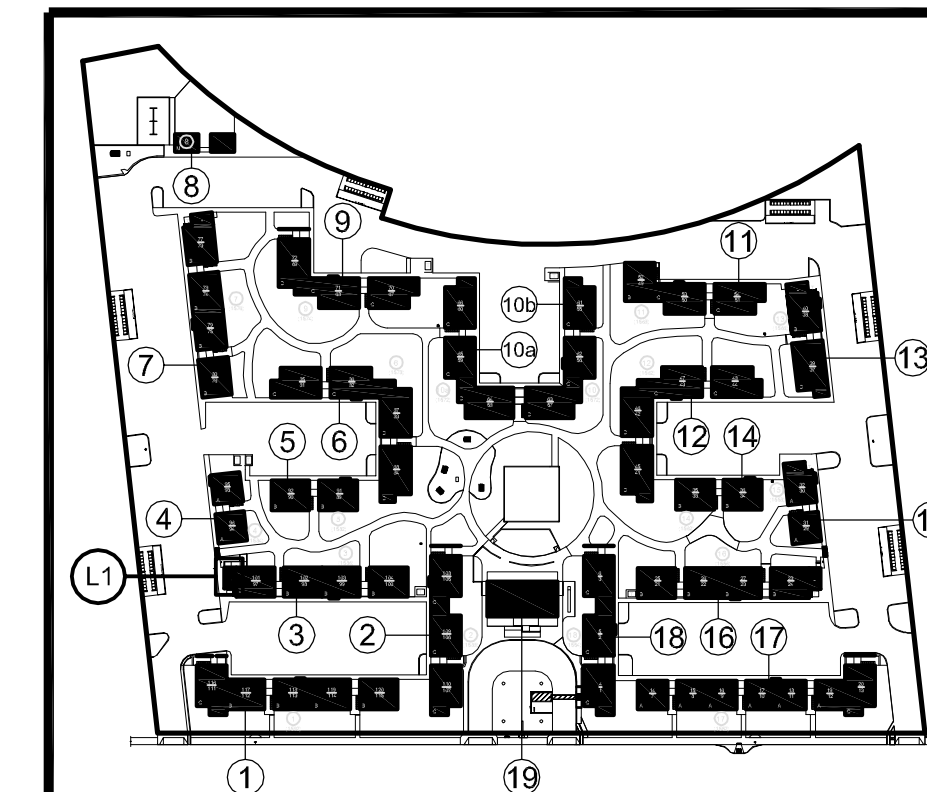
RESTROOM ACCESSORIES

- TOILET PAPER DISPENSER.
- SEAT COVER DISPENSER.
- 36" SIDE OF GRAB-BAR PER ACCESSIBILITY REQUIREMENTS.
- 54" SIDE OF GRAB-BAR PER ACCESSIBILITY REQUIREMENTS.
- RECESSED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE. SANITARY NAPKIN DISPOSAL CONTAINER.
- COUNTER MOUNTED SOAP DISPENSER.
- (2) COAT HOOKS. ONE ACCESSIBLE HOOK MOUNTED AT 48" A.F.F.
- NOT USED.
- WALL MOUNTED CHANGING TABLE.
- 4' W x 2'-8" H MIRROR WITH BOTTOM EDGE MOUNTED AT 40" A.F.F..

34 RESTROOM FLOOR PLANS (COMMON BUILDING)

SCALE : 1/4" = 1'-0"

BUILDING KEY PLAN



PROJECT

MADONNA ROAD APARTMENTS

A RENOVATION AND UPGRADE PROJECT

1550 MADONNA ROAD
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1207

**FRASER
SEIPLE
ARCHITECTS**

971 OSOS STREET
SAN LUIS OBISPO
CALIFORNIA 93401

805-544-6161

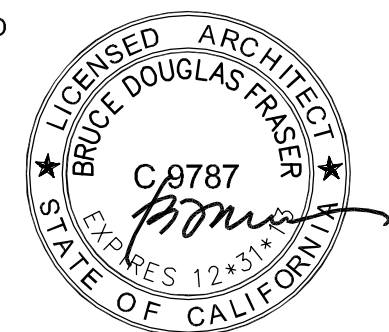
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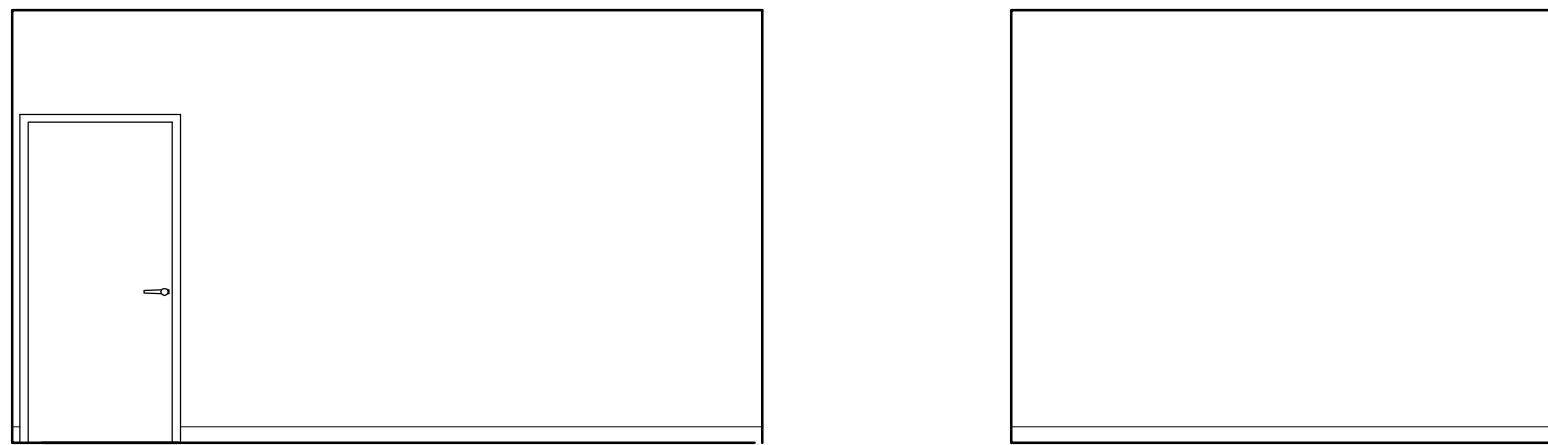
SHEET TITLE
**INTERIOR
ELEVATIONS**
(PUBLIC RESTROOM AND LAUNDRY)

SCALE: 1/4" = 1'-0"

SHEET #

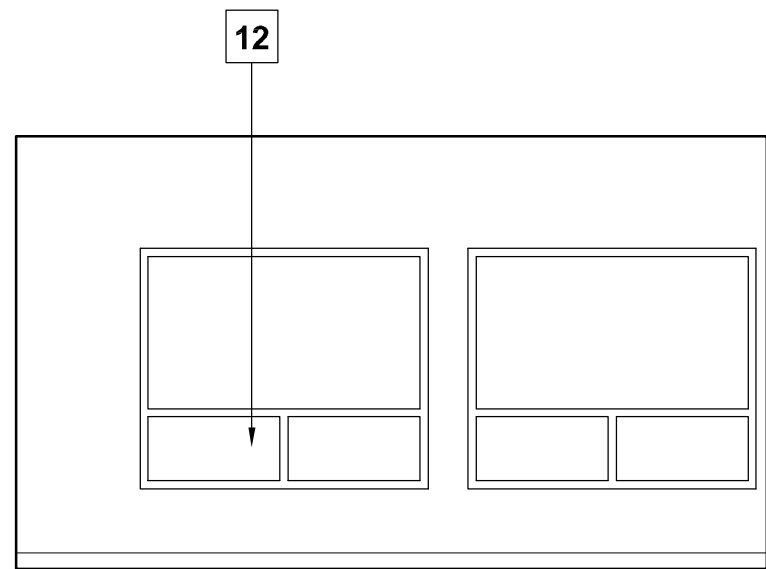
A7.1

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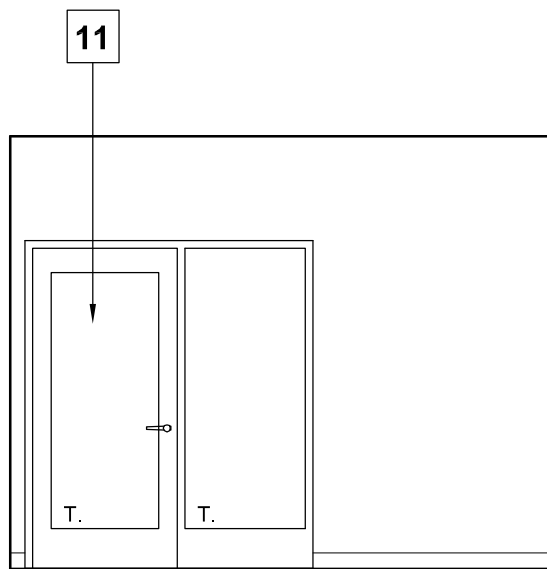


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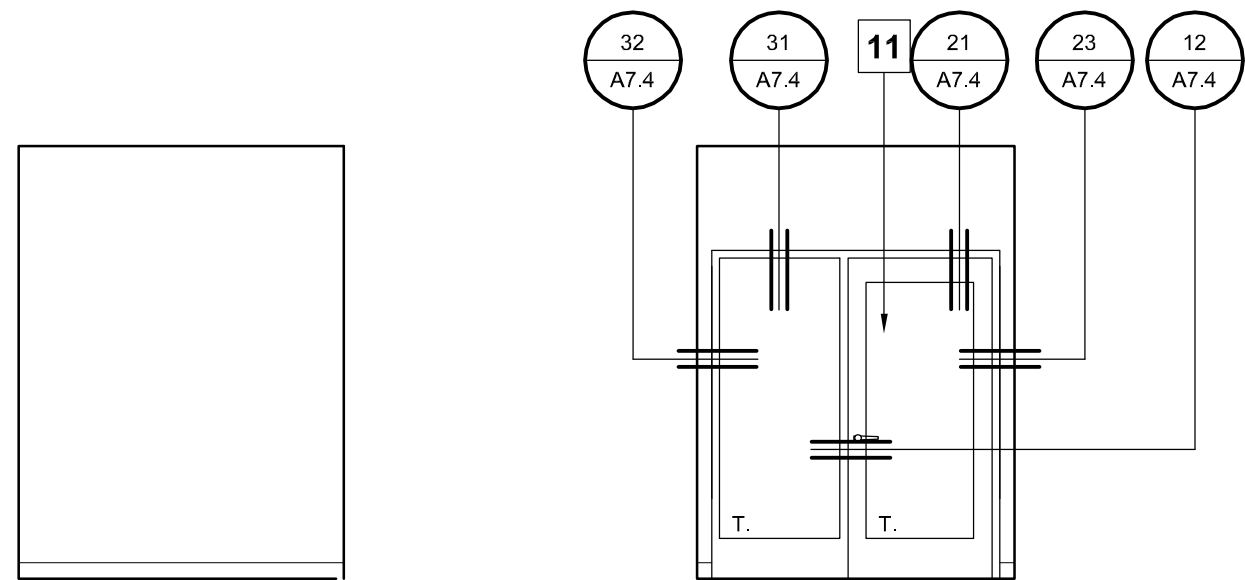
S



W

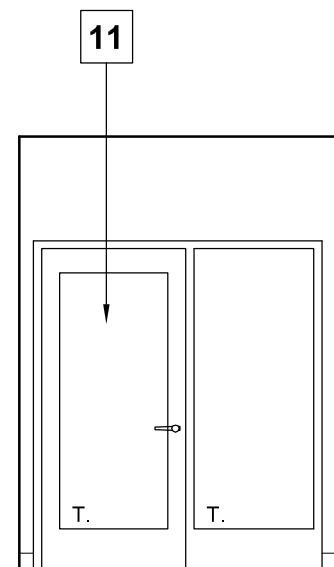
52 OFFICE ELEVATIONS

SCALE : 1/4" = 1'-0"

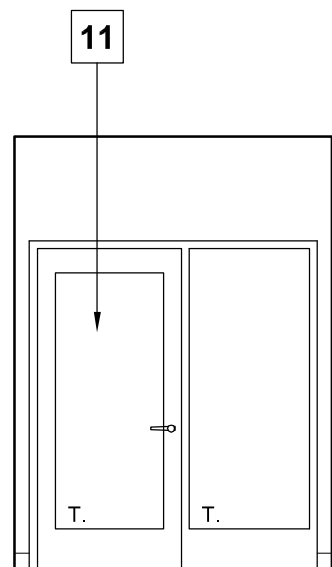


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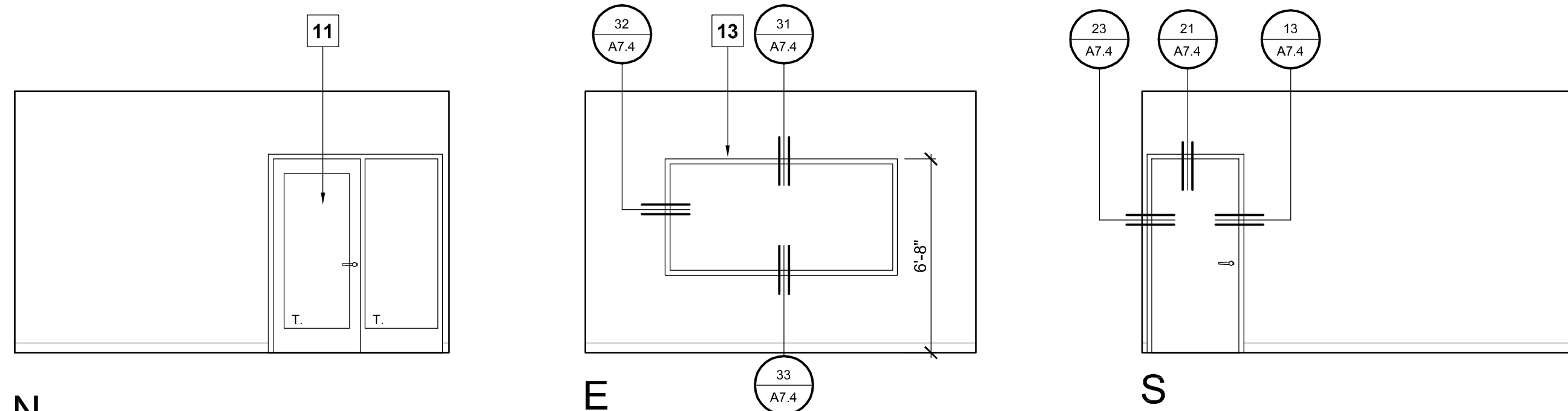
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54 VESTIBULE ELEVATIONS

SCALE : 1/4" = 1'-0"



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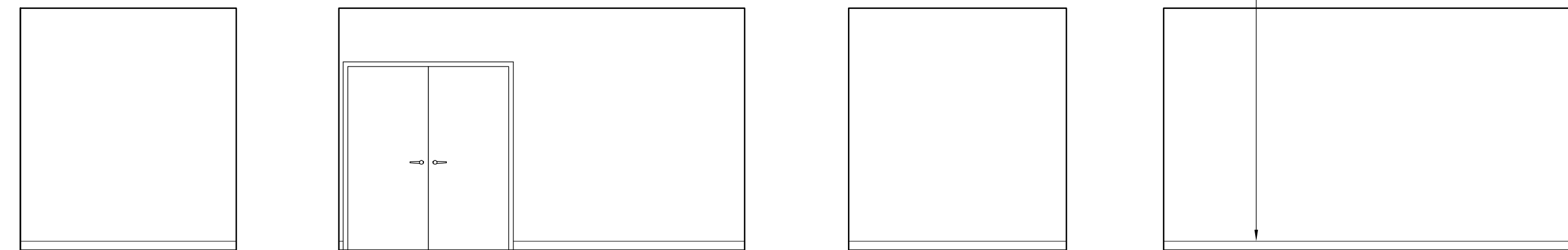
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31 CLASSROOM ELEVATIONS

SCALE : 1/4" = 1'-0"



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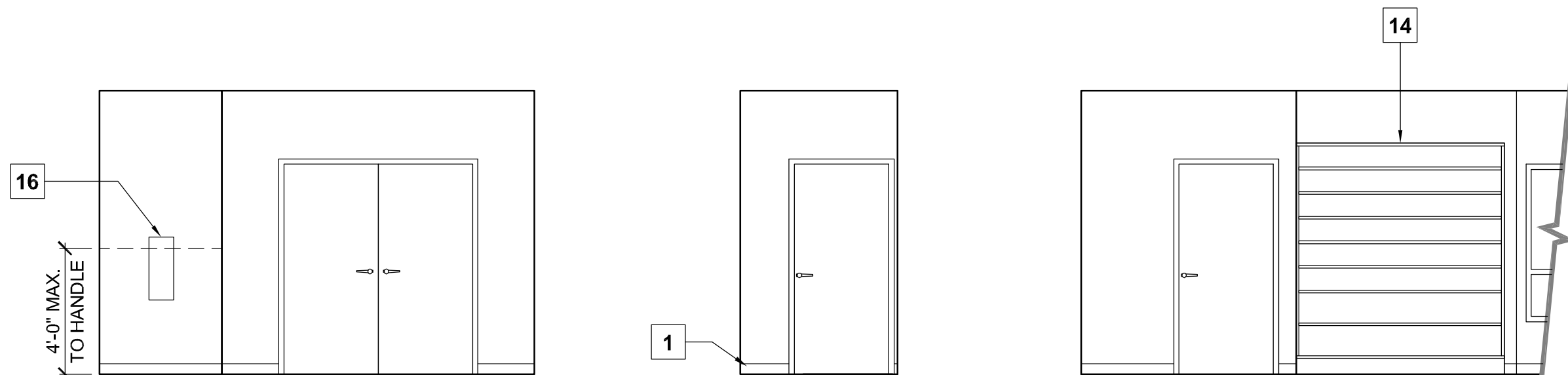
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32 CHAIR/STORAGE ROOM ELEVATIONS

SCALE : 1/4" = 1'-0"



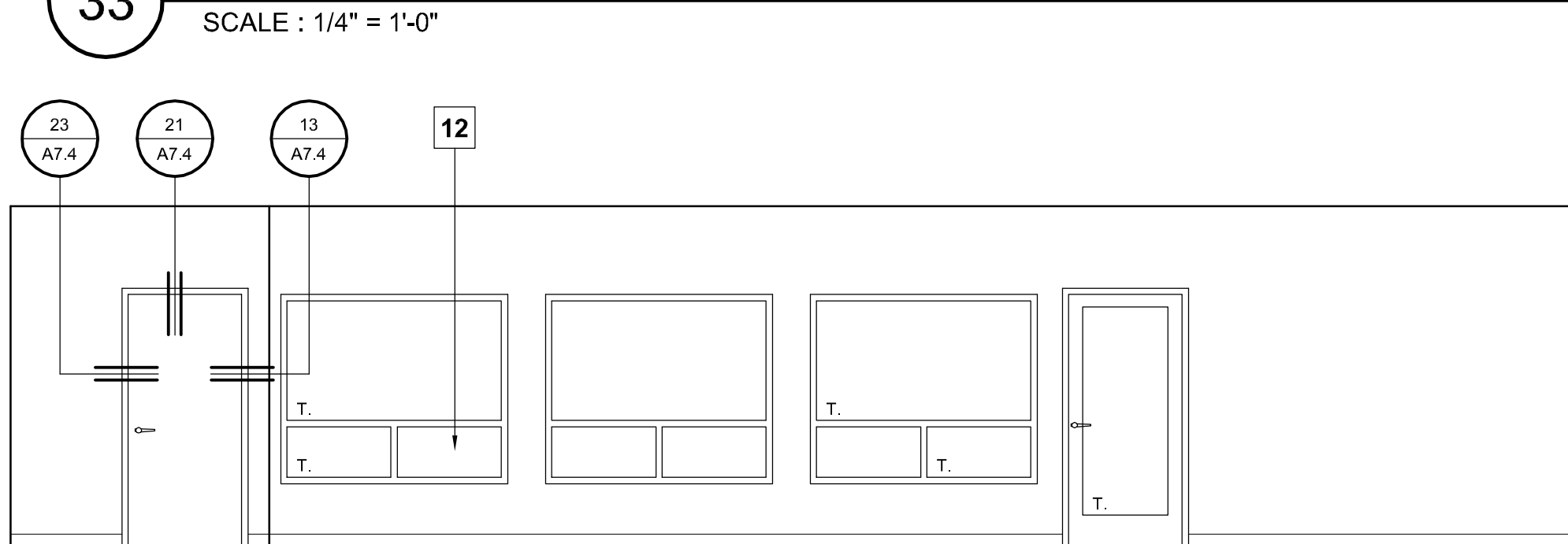
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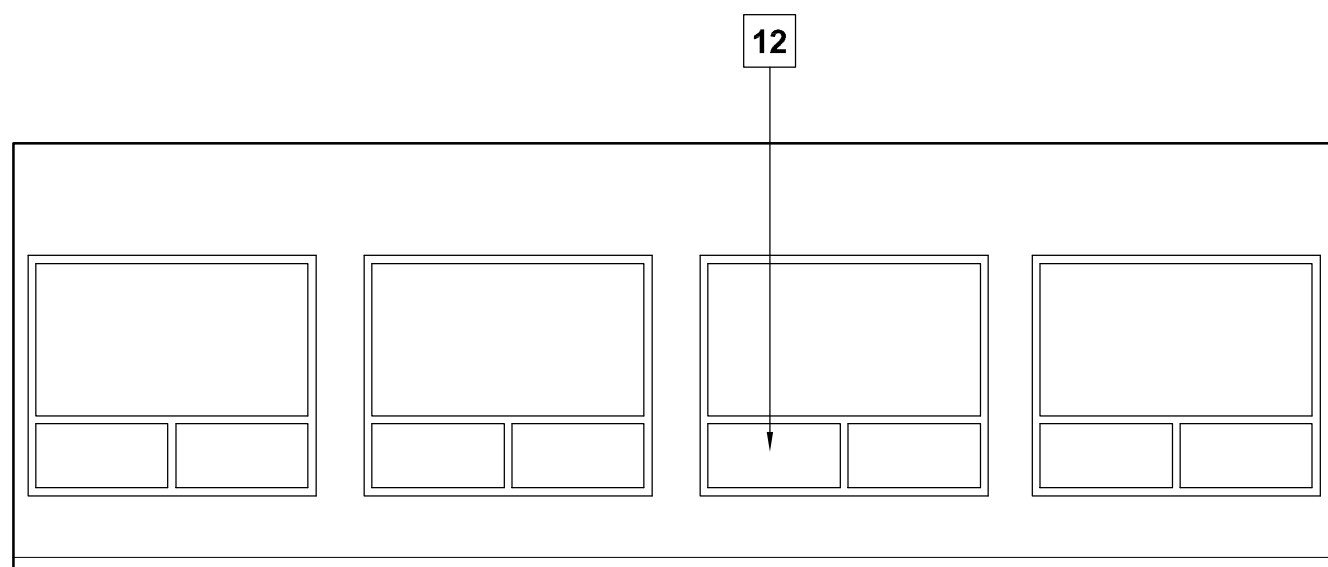
S

33 HALL 2 ELEVATIONS

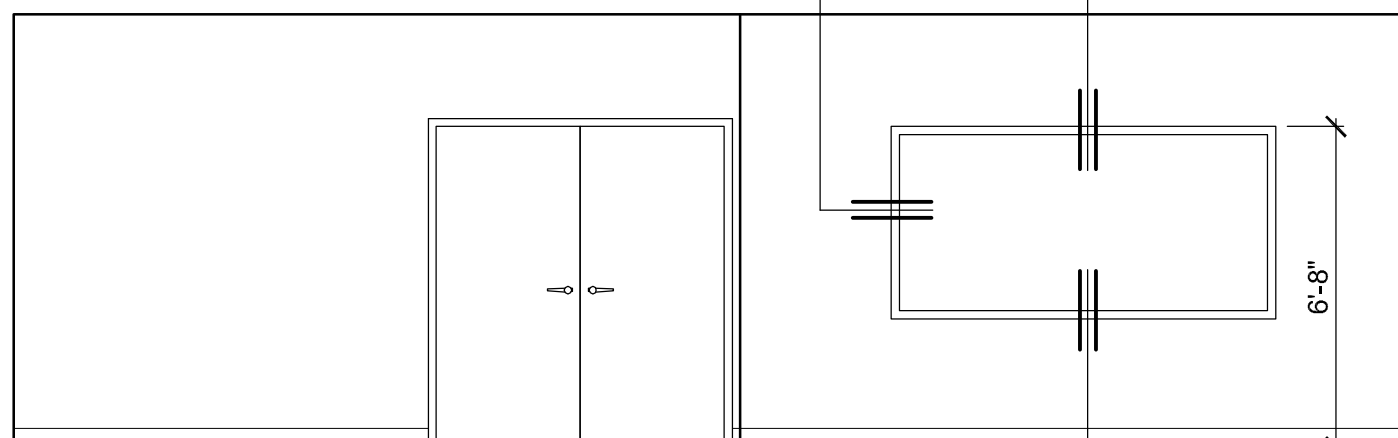
SCALE : 1/4" = 1'-0"



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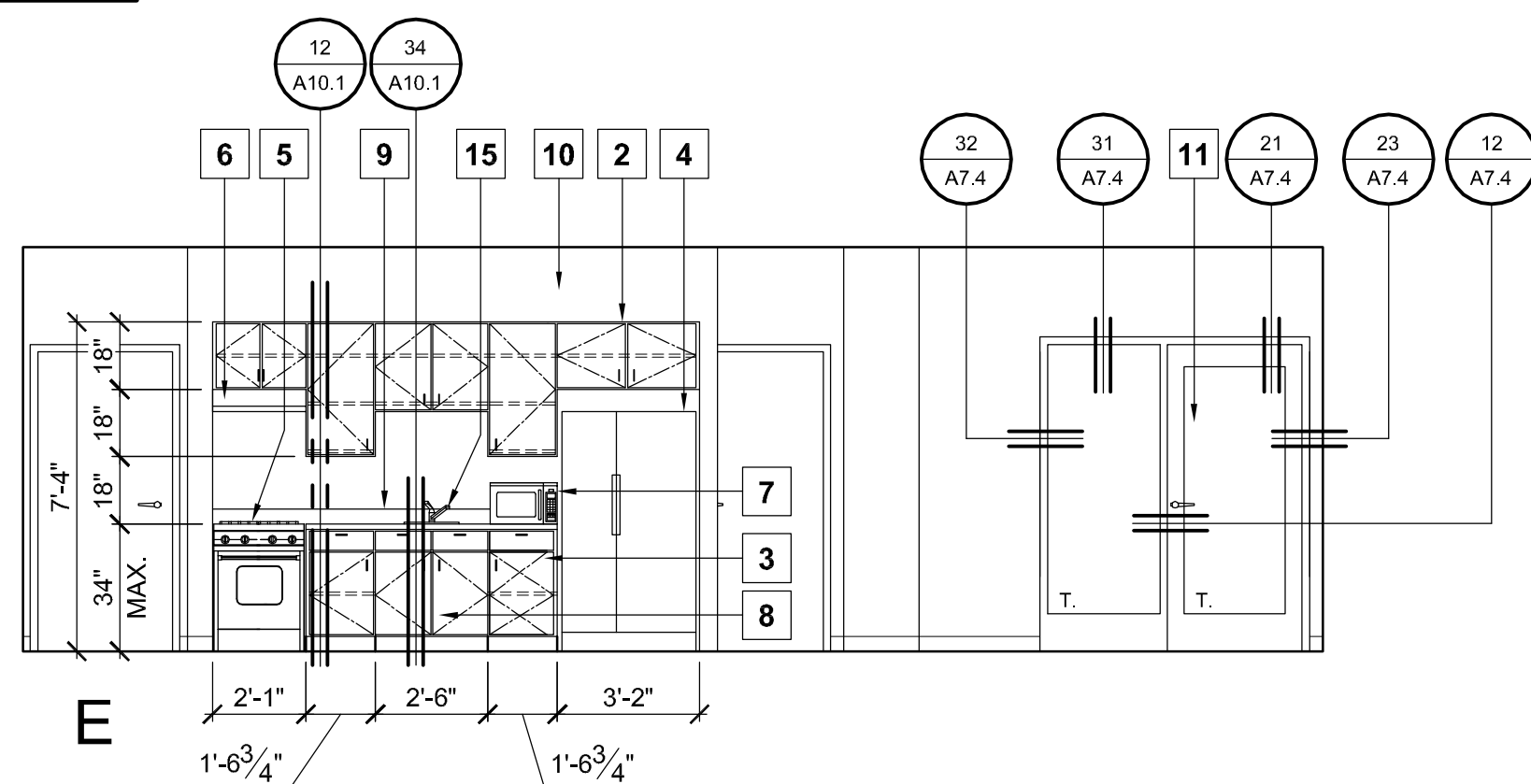
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34 ACTIVITY SPACE ELEVATIONS

SCALE : 1/4" = 1'-0"

INTERIOR ELEVATION KEYNOTES

1. 4" RUBBER WALL BASE..
2. UPPER CABINETS WITH ADJUSTABLE SHELVES.
3. BASE CABINETS WITH ADJUSTABLE SHELVES.
4. ACCESSIBLE SIDE-BY-SIDE REFRIGERATOR.
5. ACCESSIBLE 24" RANGE.
6. ACCESSIBLE BUILT-IN RANGE HOOD WITH SWITCHES MOUNTED ON END WALL ADJACENT TO RANGE.
7. ACCESSIBLE COUNTERTOP MICROWAVE.
8. PROVIDE MIN. 30" WIDE x 27" HIGH x 19" DEEP CLEAR KNEE SPACE FOR FORWARD APPROACH BELOW SINK. SEE DETAIL 34 / A10.1
9. COMPOSITE COUNTERTOP WITH BACKSPLASH.
10. SOFFIT ABOVE UPPER CABINETS
11. ENTRY DOOR WITH FIXED SIDELITE. SEE SCHEDULE ON SHEET A.8.1
12. OPERABLE WINDOW WITH FIXED TRANSOM. SEE WINDOW SCHEDULE ON SHEET A.8.1
13. FIXED WINDOW. SEE WINDOW SCHEDULE SHEET ON A.8.1
14. OPEN SHELVING.
15. ACCESSIBLE, EXTENDED SINGLE-LEVER FAUCET.
16. TYPE 2A10BC FIRE EXTINGUISHER IN SEMI-RECESSED CABINET PLACED SO TRAVEL DISTANCE DOES NOT EXCEED 75 FEET; 48" MAXIMUM MOUNTING HEIGHT.



BUILDING KEY PLAN



PROJECT

MADONNA ROAD APARTMENTS

A RENOVATION AND UPGRADE PROJECT

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SAN LUIS OBISPO, CA

CLIENT JOB #

ARCHITECT JOB #

1207

FRASER SEIPLE
ARCHITECTS

971 OSOS STREET
SAN LUIS OBISPO
CALIFORNIA 93401

805-544-6161

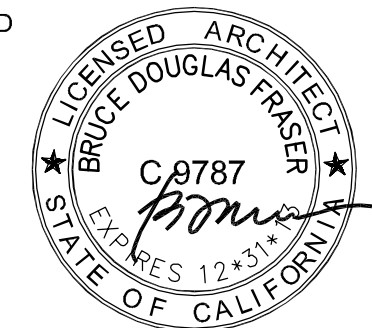
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SHEET TITLE

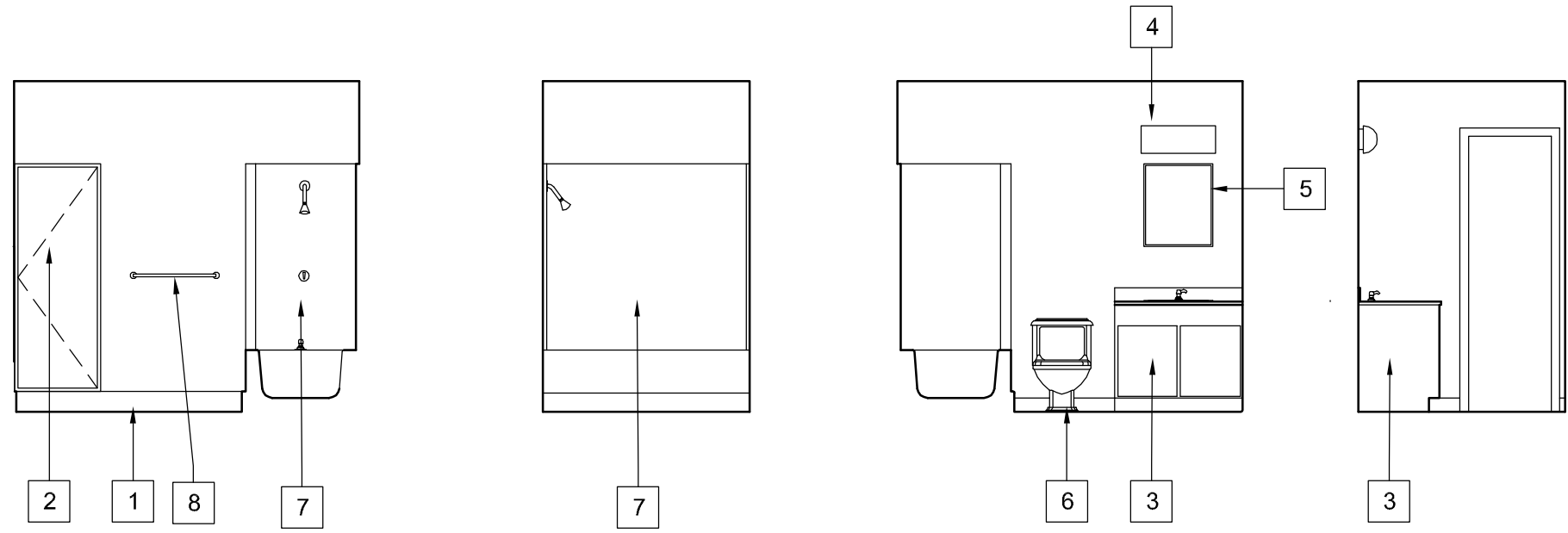
INTERIOR
ELEVATIONS
(COMMON BUILDING)

SCALE: 1/4" = 1'-0"

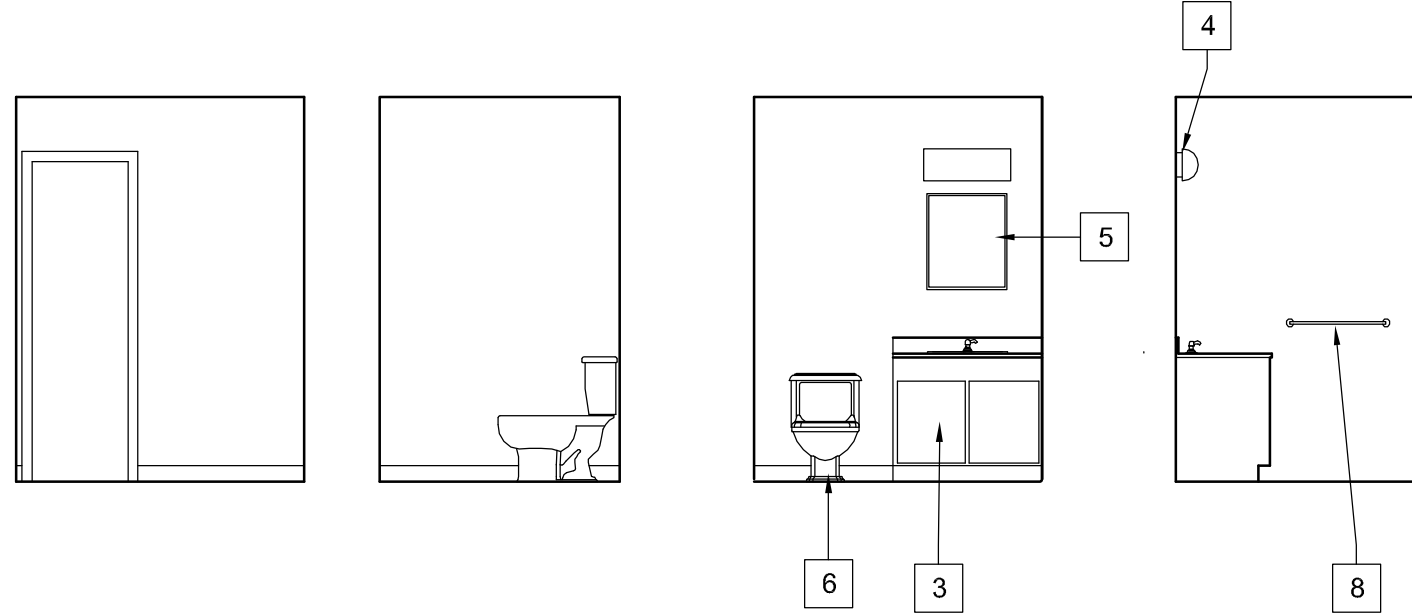
SHEET #

A7.2

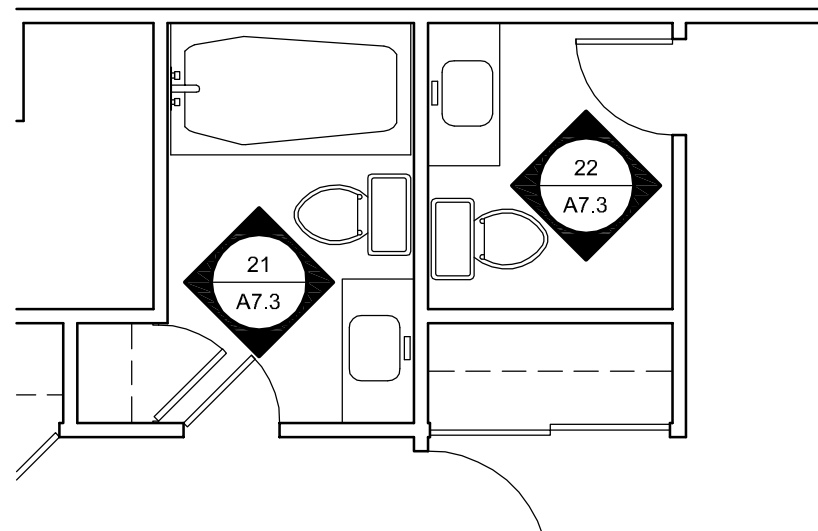
\\UCHN\Madonna Rd Apts 1207\Drawings\0 - Drawing Sheets\A7.1 - Enlarged Restroom Plans.dwg, 10/3/2012 10:52:54 PM



21 TYP. RESIDENTIAL UNIT BATHROOM ELEVATIONS (FULL BATH)
SCALE : 1/4" = 1'-0"



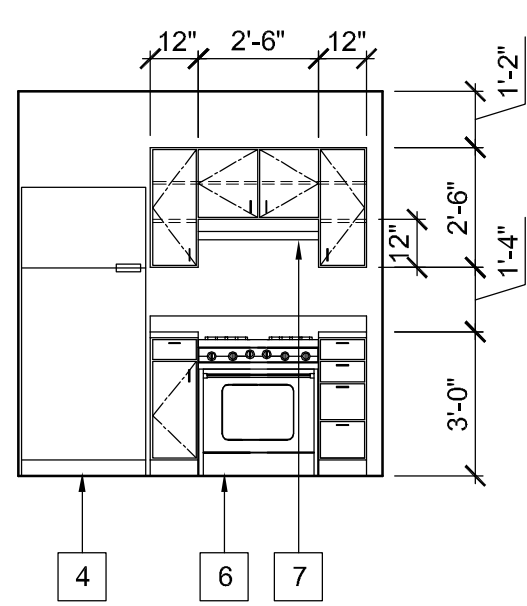
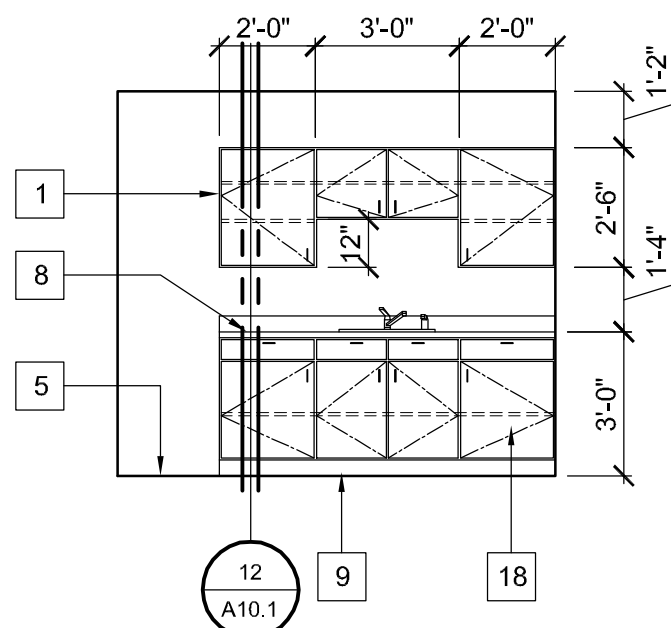
22 TYP. RESIDENTIAL UNIT BATHROOM ELEVATIONS (HALF BATH)
SCALE : 1/4" = 1'-0"



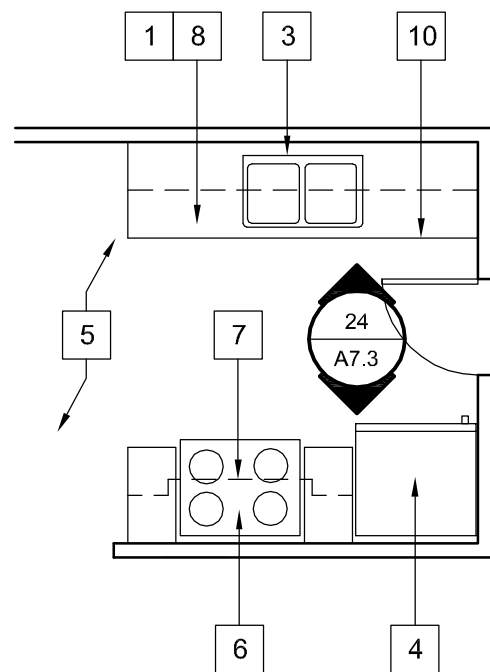
INTERIOR ELEVATION KEYNOTES
(UNIT BATHROOMS)

1. 4" RUBBER WALL BASE.
2. EXISTING LINEN CLOSET.
3. NEW VANITY WITH INTEGRAL SINK AND BACKSPLASH.
4. (E) WALL MOUNTED LIGHT FIXTURE.
5. (E) MIRROR / MEDICINE CABINET.
6. NEW LOW-FLOW TOILET.
7. NEW 4-PIECE TUB & SHOWER ENCLOSURE.
8. NEW TOWEL BAR @ 40" A.F.F.(WHEN LOOSE OR MISSING)

23 TYPICAL UNIT BATHROOM PLANS
SCALE : 1/4" = 1'-0"



24 TYP. RESIDENTIAL UNIT KITCHEN ELEVATIONS (ALL NEW CABINETS)
SCALE : 1/4" = 1'-0"



UNIT KITCHEN KEYNOTES

1. ALL KITCHEN CABINETS TO BE REPLACED.
2. REFER TO CONTRACTOR'S UNIT MATRIX FOR LOCATION AND QUANTITY OF REPLACEMENT FIXTURES / APPLIANCES.
3. NEW KITCHEN SINK. SEE PLUMBING PLANS.
4. NEW REFRIGERATOR.
5. REFER TO FINISH SCHEDULE ON SHEET A8.1
6. NEW GAS RANGE.
7. NEW EXHAUST HOOD.
8. NEW SOLID SURFACE COUNTERTOP AND BACKSPLASH.
9. NEW BASE, SEE SCHEDULE ON SHEET A8.1
10. FOOTPRINT OF NEW BASE CABINETS TO MATCH EXISTING IN ORDER TO PROTECT EXISTING FLOORING. FIELD VERIFY DIMENSIONS.

25 TYP. RESIDENTIAL UNIT KITCHEN FLOOR PLAN (ALL NEW CABINETS)
SCALE : 1/4" = 1'-0"

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ARCHITECTS

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SAN LUIS OBISPO
CALIFORNIA 93401

805-544-6161

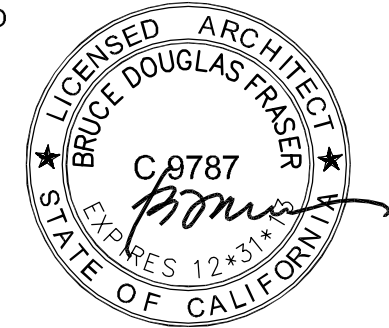
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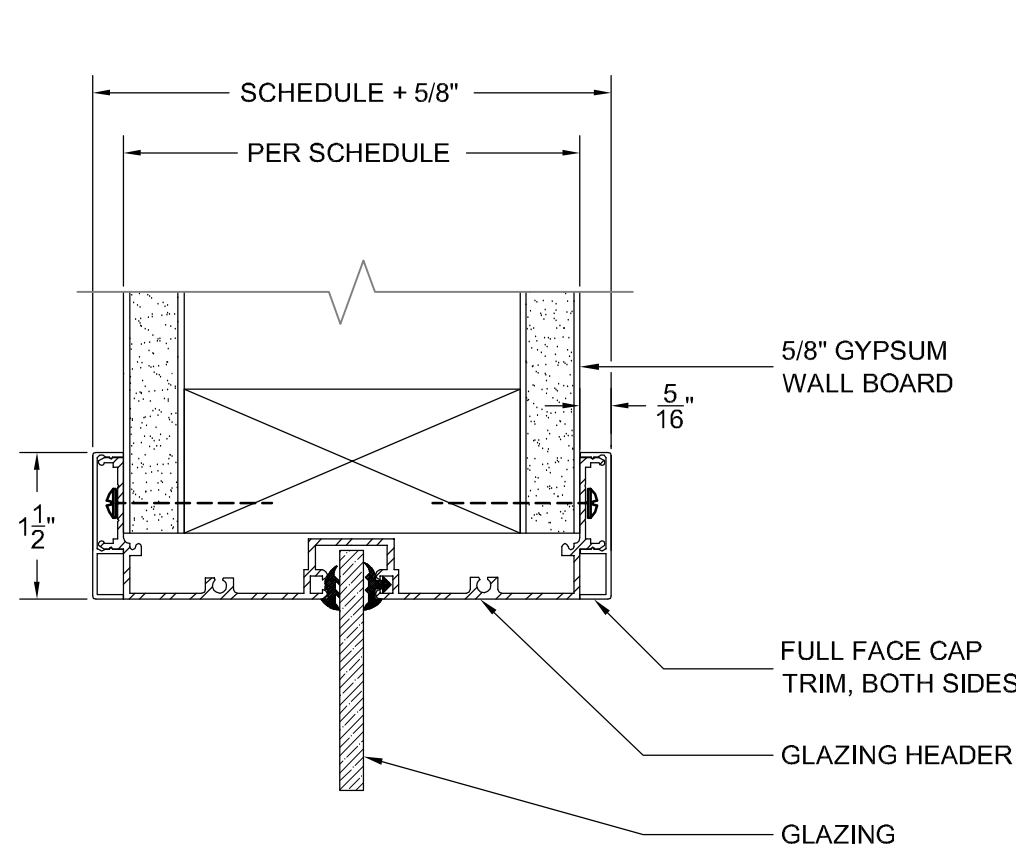
SHEET TITLE

INTERIOR
ELEVATIONS
(DWELLING UNITS)

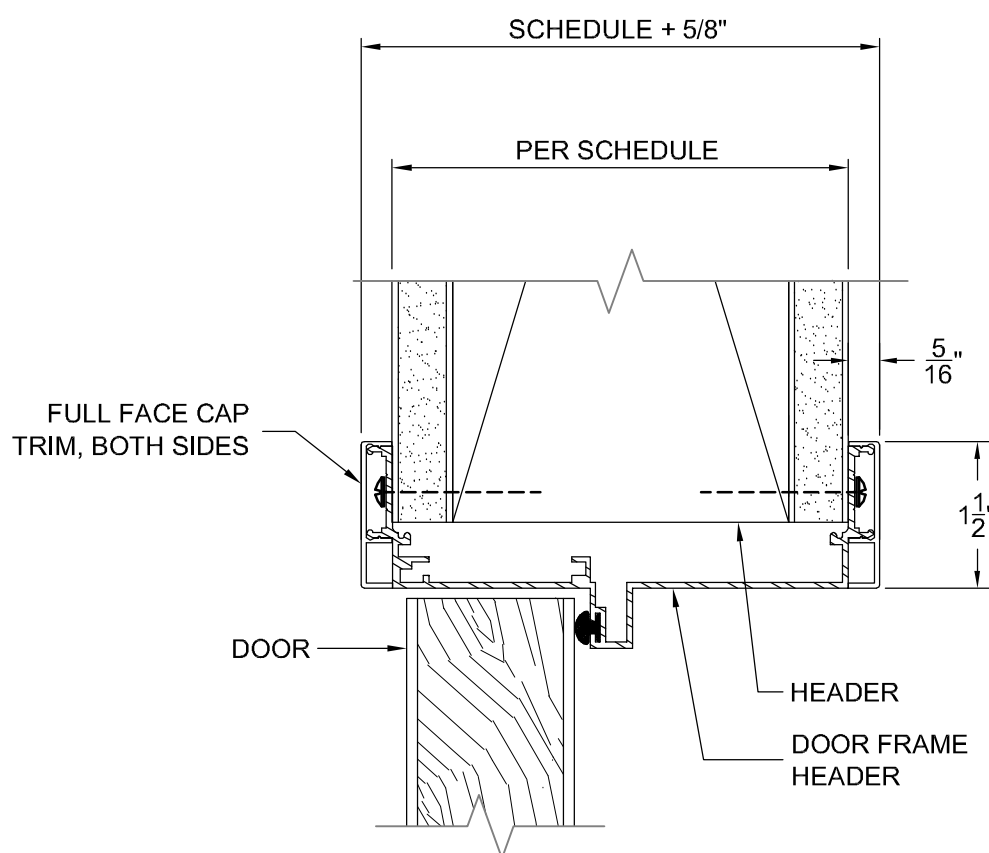
SCALE: 1/4" = 1'-0"

SHEET #

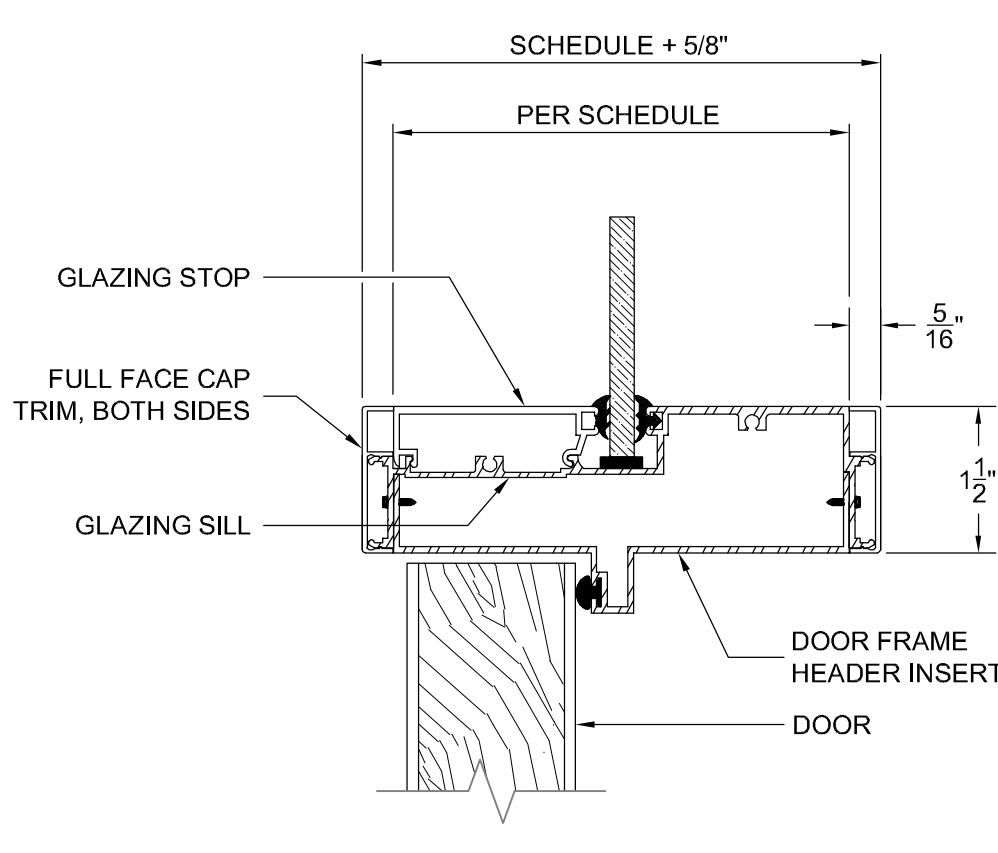
A7.3



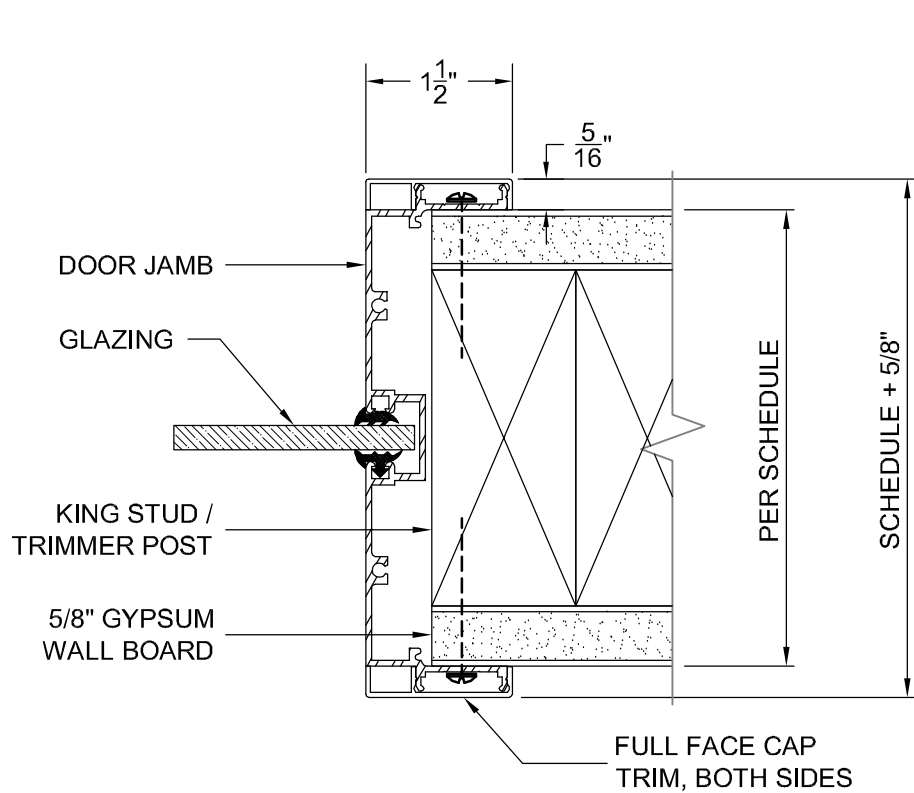
31 GLAZED PARTITION HEAD
6"=1'- 0"



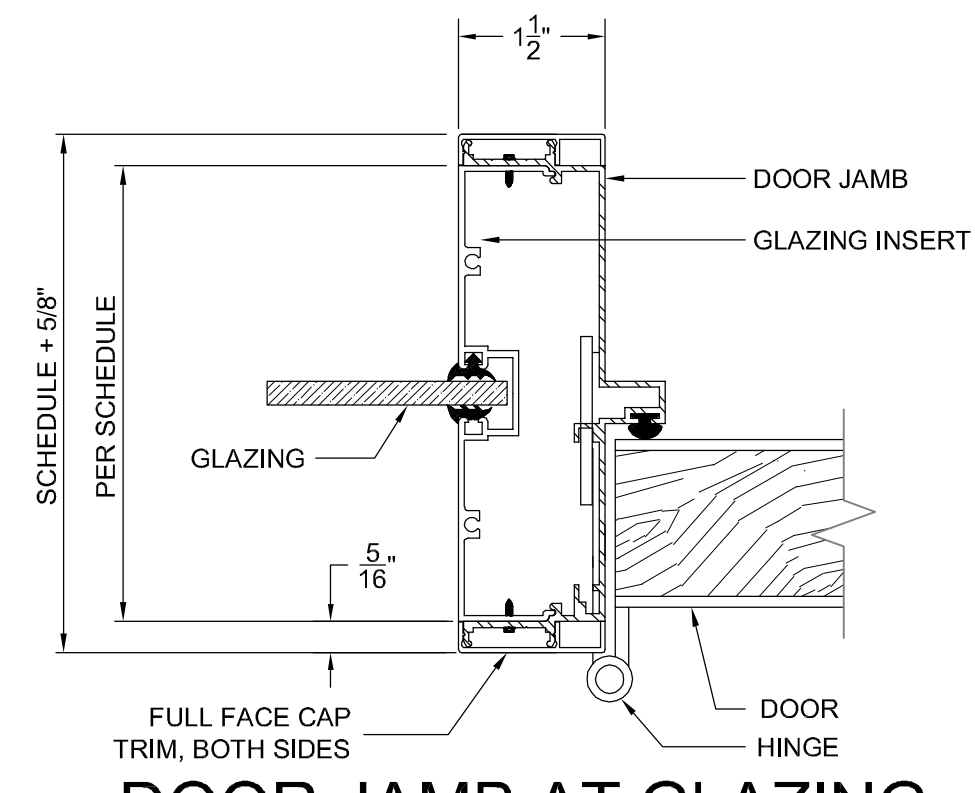
21 DOOR HEAD
6"=1'- 0"



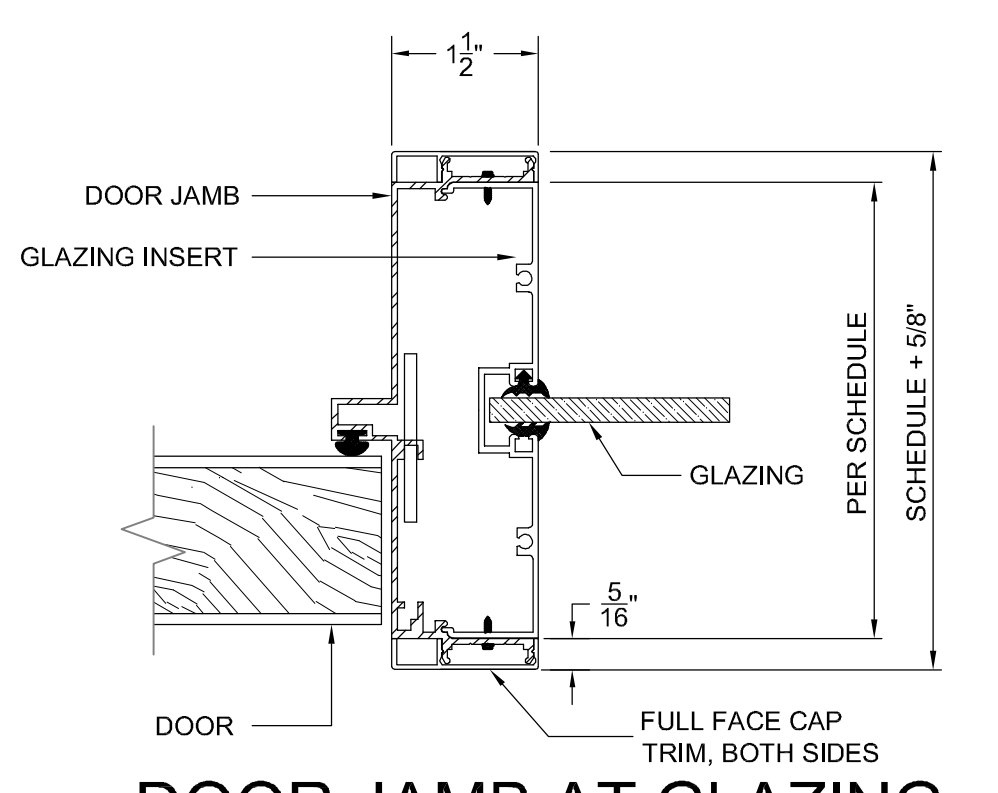
11 DOOR HEAD AT TRANSOM
6"=1'- 0"



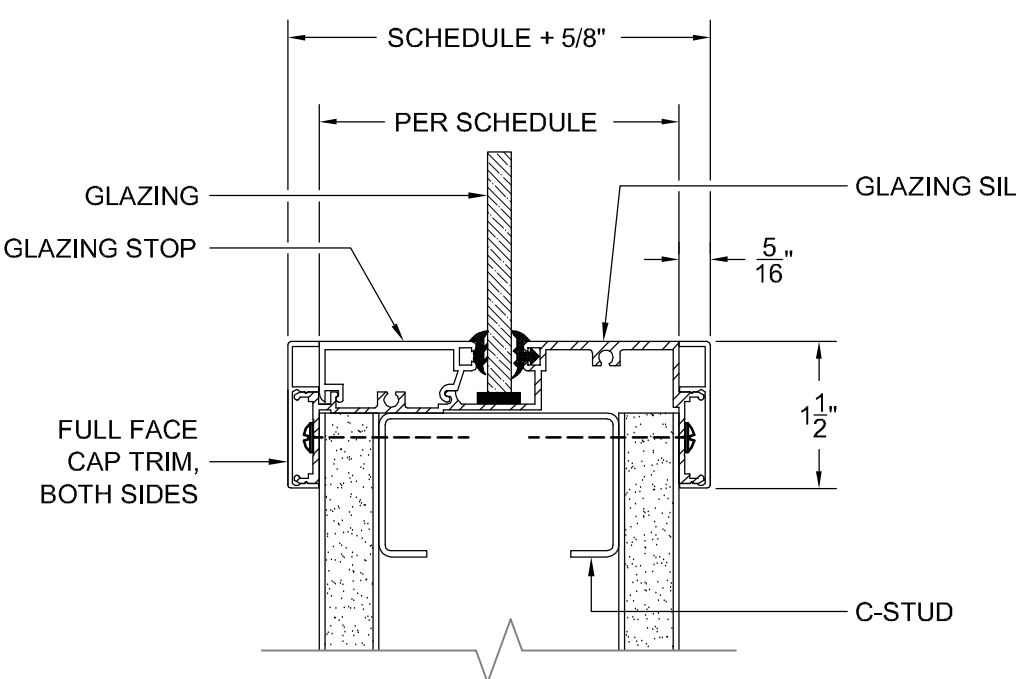
32 GLAZED PARTITION JAMB
6"=1'- 0"



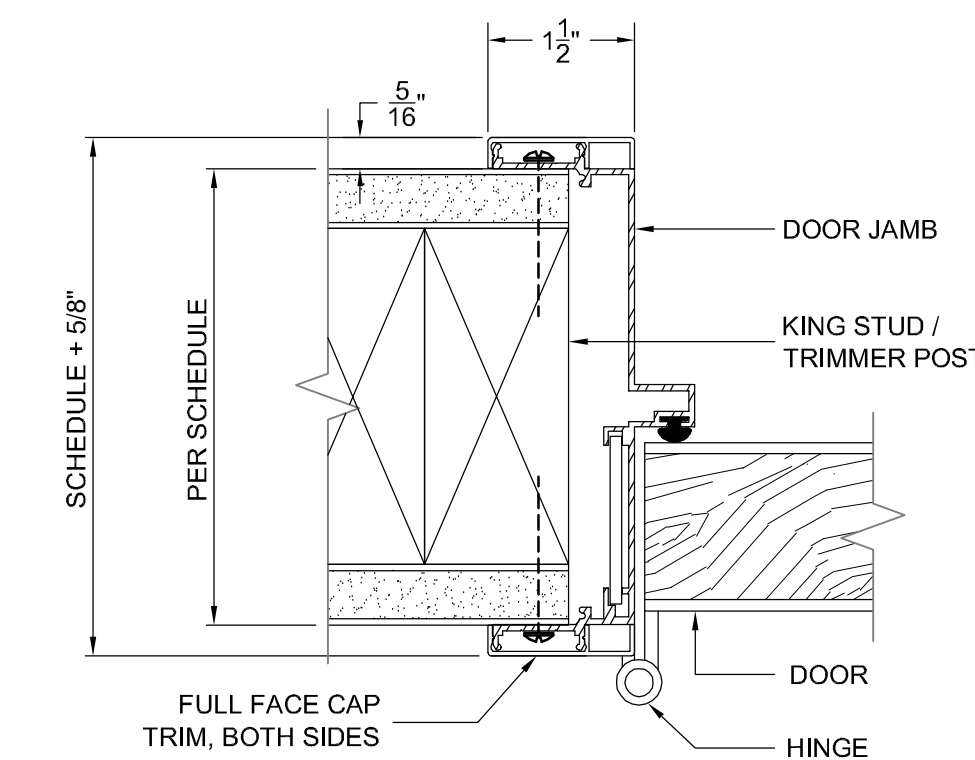
22 DOOR JAMB AT GLAZING
(HINGE SIDE)
6"=1'- 0"



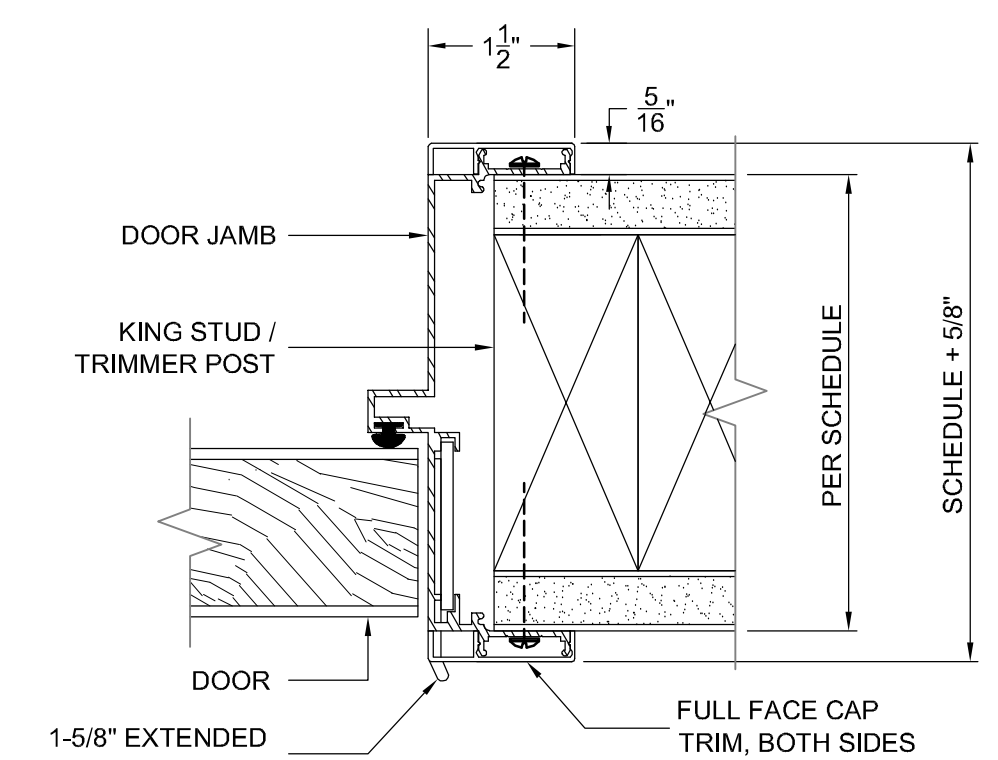
12 DOOR JAMB AT GLAZING
(STRIKE SIDE)
6"=1'- 0"



33 GLAZED PARTITION SILL
6"=1'- 0"



23 DOOR JAMB (HINGE SIDE)
6"=1'- 0"



13 DOOR JAMB (STRIKE SIDE)
6"=1'- 0"

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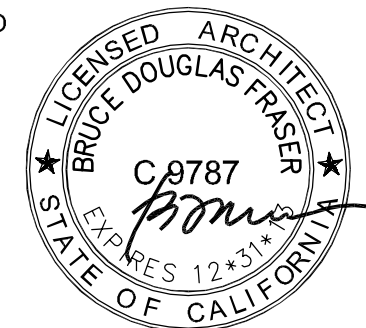
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SHEET TITLE

INTERIOR DETAILS
(ALUMINUM FRAMES)

SCALE: 6" = 1'=0"

SHEET #

A7.4

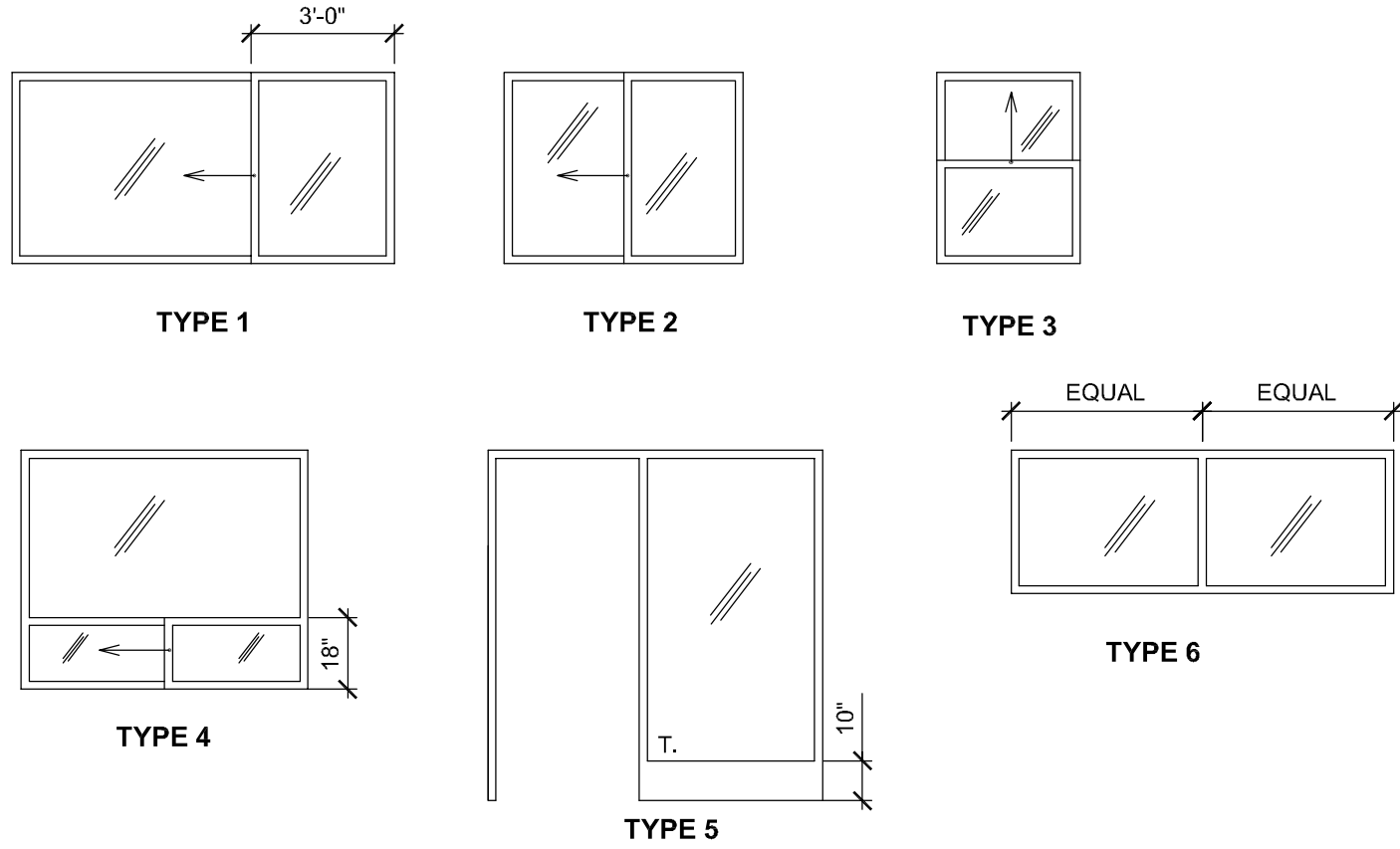
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WINDOW SCHEDULE

SYM.	TYPE	FRAME	WIDTH	HT.	GLAZING	REMARKS
A	1	VW	8'-0"	4'-0"	G.1	ASYMMETRICAL SLIDING VINYL WINDOW
B	2	VW	5'-0"	4'-0"	G.1	SLIDING VINYL WINDOW
C	2	VW	4'-0"	4'-0"	G.1	SLIDING VINYL WINDOW
D	3	VW	3'-0"	4'-0"	G.1	SINGLE HUNG VINYL WINDOW
E	4	VW	6'-0"	5'-0"	G.1 / G.2	FIXED/ SLIDING VINYL WINDOW, TEMPERED PER A5.1
F	5	HM	2'-6"	5'-10"	G.2	FIXED SIDELITE, TEMPERED, HOLLOW METAL FRAME
G	5	AL	2'-6"	5'-10"	G.2	FIXED SIDELITE, TEMPERED, ALUMINUM FRAME
H	6	AL	8'-0"	3'-0"	G.1	FIXED TRANSOM, ALUMINUM FRAME
I	2	VW	3'-0"	2'-0"	G.4	SLIDING VINYL WINDOW

GLAZING LEGEND:

- G.1 DUAL PANE INSULATING GLASS, LOW E, REGULAR STRENGTH
G.2 DUAL PANE INSULATING GLASS, LOW E, TEMPERED
G.3 1/4" SINGLE PANE GLASS, TEMPERED
G.4 DUAL PANE INSULATING GLASS, LOW E, REGULAR STRENGTH, OBSCURE



DOOR SCHEDULE

NO.	TYPE	FRAME	WIDTH	HT.	THICK.	HDWRE.	REMARKS
RESIDENTIAL UNIT DOORS							
①	FG.1	WF.1	3'-0"	6'-8"	1-3/4"	1	EXTERIOR ENTRY, INSULATED FIBERGLASS
2	WD.1	WF.1	2'-6"	6'-8"	1-3/8"	2	BEDROOM PRIVACY, HOLLOW CORE WOOD
3	WD.1	WF.1	2'-0"	6'-8"	1-3/8"	3	STORAGE/UTILITY, HOLLOW CORE WOOD
4	WD.1	WF.1	2'-0"	6'-8"	1-3/8"	4	BATHROOM PRIVACY, HOLLOW CORE WOOD
5	WD.2	WF.1	3'-0"	6'-8"	1-3/8"	5	CLOSET BI-FOLD, HOLLOW CORE WOOD
6	WD.3	WF.1	5'-6"	8'-0"	1-3/8"	6	CLOSET BI-PASS, HOLLOW CORE WOOD
7	WD.3	WF.1	5'-0"	8'-0"	1-3/8"	6	CLOSET BI-PASS, HOLLOW CORE WOOD
8	WD.3	WF.1	4'-0"	8'-0"	1-3/8"	6	CLOSET BI-PASS, HOLLOW CORE WOOD
9	WD.2	WF.1	3'-6"	6'-8"	1-3/8"	5	CLOSET BI-FOLD, HOLLOW CORE WOOD
COMMON AREA DOORS							
10	FG.2	HM.1	3'-0"	6'-8"	1-3/4"	7	ACCESSIBLE ENTRY/EXIT, INSULATED FIBERGLASS, SINGLE LITE, TEMPERED
11	WD.4	AL.2	3'-0"	6'-8"	1-3/4"	8	ACCESSIBLE LOCKING PASSAGE, SOLID CORE WOOD, SINGLE LITE, TEMPERED
12	WD.4	AL.3	3'-0"	6'-8"	1-3/4"	8	ACCESSIBLE LOCKING PASSAGE, SOLID CORE WOOD, SINGLE LITE, TEMPERED
13	WD.5	AL.4	6'-0"	6'-8"	1-3/4"	11	ACCESSIBLE STOREROOM, SOLID CORE WOOD
14	WD.1	AL.4	3'-0"	6'-8"	1-3/4"	8	ACCESSIBLE LOCKING PASSAGE, SOLID CORE WOOD
15	WD.1	AL.4	3'-0"	6'-8"	1-3/4"	10	ACCESSIBLE RESTROOM, SOLID CORE WOOD
16	WD.1	AL.4	3'-0"	6'-8"	1-3/4"	13	ACCESSIBLE RESTROOM, SOLID CORE WOOD
17	WD.5	AL.4	5'-0"	6'-8"	1-3/4"	11	EQUIPMENT ROOM PASSAGE, SOLID CORE WOOD
18	WD.5	AL.4	6'-0"	6'-8"	1-3/4"	11	ACCESSIBLE STOREROOM, SOLID CORE WOOD
19	WD.4	AL.4	3'-0"	6'-8"	1-3/4"	12	ACCESSIBLE CLASSROOM, SOLID CORE WOOD
20	FG.2	HM.1	3'-0"	6'-8"	1-3/4"	7	ACCESSIBLE ENTRY/EXIT, INSULATED FIBERGLASS, SINGLE LITE, TEMPERED
21	FG.2	HM.1	3'-0"	6'-8"	1-3/4"	7	ACCESSIBLE ENTRY/EXIT, INSULATED FIBERGLASS, SINGLE LITE, TEMPERED

HARDWARE SCHEDULE

- GROUP 1
Hinges: 3, standard duty residential (Stanley F179/US26D or equivalent)
Lockset: standard duty entry function, lever handle (Schlage AL53PD/Saturn/626 or equivalent)
Viewer: 120 degree, thru-door viewer (Ives 700/US26D or equivalent)
Door Bottom: full width shoe with vinyl sweep (Pemko 217AV or equivalent)
Threshold: (existing)
Seals: aluminum/vinyl gasket, head and jams (Pemko 292 PAV or equivalent)
- GROUP 2
Hinges: 3, standard duty residential (Stanley RD741/US26D or equivalent)
Lockset: standard duty privacy function, lever handle (Schlage F40/Elan/626 or equivalent)
Stop: wall base stop (Ives 61/626 or equivalent)
- GROUP 3
Hinges: 3, standard duty residential (Stanley RD741/US26D or equivalent)
Latchset: standard duty passage function, lever handle (Schlage F10/Elan/626 or equivalent)
Stop: wall base stop (Ives 61/626 or equivalent)
- GROUP 4
Hinges: 3, standard duty residential (Stanley RD741/US26D or equivalent)
Lockset: standard duty privacy function, lever handle (Schlage F40/Elan/626 or equivalent)
Stop: wall base stop (Ives 61/626 or equivalent)
- GROUP 5
Hinges and Track: standard duty hardware set (Stanley 402032 at Door 5, 404042 at Door 9, white or equivalent)
- GROUP 6
Track Set: standard duty hardware set (Stanley 1755/white or equivalent)
Pulls: 2, recessed rectangular flush pulls (Ives 227B/satin nickel or equivalent)
- GROUP 7
Hinges: 3, ball bearing standard duty (Stanley FBB179/US26D or equivalent)
Lockset: heavy duty entry function, lever handle (Schlage AL53PD/SAT/626 or equivalent)
Closer: inside surface mount (LCN 4110 or equivalent)
Door Bottom: aluminum shoe, vinyl bulb smoke seal (Pemko 217DV or equivalent)
Threshold: accessible saddle, full width (Pemko 270D or equivalent)
Seals: silicone bulb, all sides (Pemko S88 or equivalent)
- GROUP 8
Hinges: 3, ball bearing standard duty (Stanley FBB179/US26D or equivalent)
Lockset: heavy duty entry function, lever handle (Schlage AL53PD/SAT/626 or equivalent)
Closer: inside surface mount (LCN 4110 or equivalent)
Stops: wall surface stop (Ives WS401/626 or equivalent)
Seals: silicone bulb, all sides (Pemko S88 or equivalent)
- GROUP 9
Hinges: 3, standard duty (Stanley F179/US26D or equivalent)
Lockset: medium duty classroom function (Schlage AL70PD/SAT/626 or equivalent)
Stops: wall surface stop (Ives WS401/626 or equivalent)
- GROUP 10
Hinges: 3, standard duty (Stanley F179/US26D or equivalent)
Lockset: medium duty privacy function (Schlage AL40S/SAT/626 or equivalent)
Stops: wall surface stop (Ives WS401/626 or equivalent)
Seals: silicone bulb, all sides (Pemko S88 or equivalent)
- GROUP 11
Hinges: 3, standard duty (Stanley F179/US26D or equivalent)
Lockset: medium duty storeroom function (Schlage AL80PD/SAT/626 or equivalent)
Dummy Trim: medium duty single dummy trim (Schlage AL170/SAT/626 or equivalent)
Flush Bolts: manual flush bolts, top and bottom, inactive leaf (Ives FB358/626 or equivalent)
Stops: wall surface stop (Ives WS401/626 or equivalent)
Seals (Door 17 only): silicone bulb, all sides (Pemko S88 or equivalent)
- GROUP 12
Hinges: 3, standard duty (Stanley F179/US26D or equivalent)
Lockset: medium duty classroom function (Schlage AL70PD/SAT/626 or equivalent)
Stops: wall surface stop (Ives WS401/626 or equivalent)
Seals: silicone bulb, all sides (Pemko S88 or equivalent)
- GROUP 13
Hinges: 3, standard duty (Stanley F179/US26D or equivalent)
Lockset: medium duty deadbolt & thumbturn with "Occupied" indicator
Stops: wall surface stop (Ives WS401/626 or equivalent)
Seals: silicone bulb, all sides (Pemko S88 or equivalent)

FINISH SCHEDULES

UNITS

ROOM NAME	FLOOR	BASE	WALLS/CEILING	REMARKS
LIVING	CAR-1	WD-1	GB-1	
DINING	VFP-1	WD-1	GB-1	
KITCHEN	VFP-1	RB-1	GB-1	
PANTRY	VFP-1	RB-1	GB-1	
HALLS	VFP-1	RB-1	GB-1	
BATHROOMS	VFP-1	RB-1	GB-1	
BEDROOMS	CAR-1	WD-1	GB-1	
BEDROOM /LINEN	CAR-1	WD-1	GB-1	
EQUIPMENT CLOSETS	VFP-1	WD-1	GB-2	

COMMON BUILDINGS

ROOM NAME	FLOOR	BASE	WALLS/CEILING	CEILING
ENTRY VESTIBULE	RF-4	RB-1	GB-1	
OFFICE	CAR-2	RB-2	GB-1	
ACTIVITY SPACE	RF-3,4,5	RB-1	GB-1	REFER TO SHEET A2.1 FOR FLOOR PATTERN
STORAGE	RF-4	RB-1	GB-1	
CLASSROOM	CAR-2	RB-2	GB-1	
WARMING KITCHEN	RF-4	RB-1	GB-1	
MEN'S RESTROOM	CT-1	CT-2	GB-1, CT-3	
WOMEN'S RESTROOM	CT-1	CT-2	GB-1, CT-3	
MECHANICAL/JANITOR	SC-1	RB-1	GB-1, FRP-1	FRP TO 4'-0" A.F.F. @ MOP SINK
HALLS	RF-4	RB-1	GB-1	
LAUNDRY	RF-3	RB-1	GB-1	
FILE, CHAIR STORAGE	RF-4	RB-1	GB-2	

FINISH LEGEND

FLOOR	
VFP-1	VINYL PLANK FLOORING
RF-2	SHEET RESILIENT FLOORING
RF-3	12"x12" COMMERCIAL GRADE VINYL COMPOSITION TILE
RF-4	12"x12" COMMERCIAL GRADE VINYL COMPOSITION TILE
RF-5	12"x12" COMMERCIAL GRADE VINYL COMPOSITION TILE
CAR-1	LEVEL LOOP CARPET WITH PAD, 20 OZ
CAR-2	LEVEL LOOP CARPET, 26 OZ
CT-1	6"x6" CERAMIC TILE
SC-1	SEALED CONCRETE

BASE	
GB-1	RESILIENT FLOORING COVE BASE
RB-1	4" COVED RESILIENT WALL BASE
RB-2	4" STRAIGHT RESILIENT WALL BASE
CT-2	COVED CERAMIC TILE BASE
WD-1	2 1/2" PAINTED WOOD BASE

WALLS AND CEILING	
GB-1	GYPSUM BOARD, TEXTURED, SEMI-GLOSS PAINT
GB-2	GYPSUM BOARD, TAPED ONLY, FLAT PAINT
CT-3	6"x6" CERAMIC TILE
FRP-1	FIBERGLASS REINFORCED PANEL

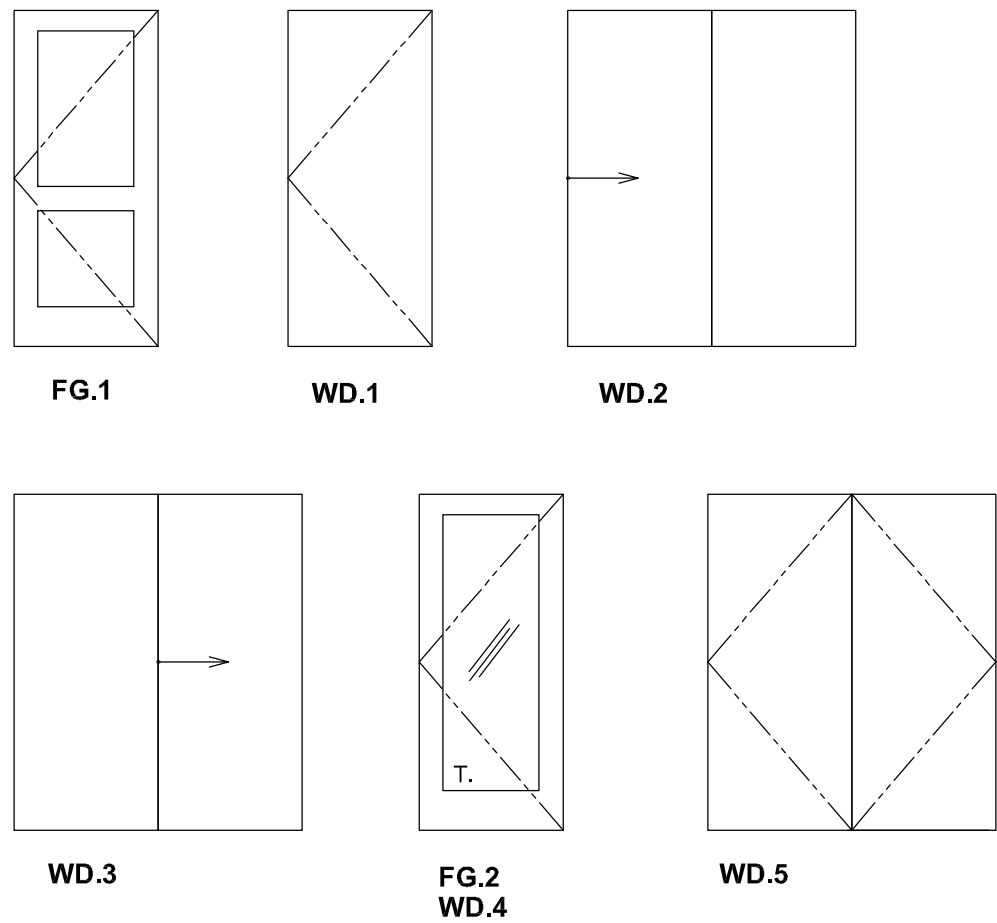
GENERAL FINISH NOTES:

- Residential finishes in the Finish Schedule describe only those items to be replaced; refer to Contractor's replacement matrix to determine where these items apply.
- Any replacement gypsum board shall be type X firecode rated when applied to party wall conditions.
- During removal of existing finishes any potential evidence of mold within construction assemblies shall be brought to the attention of a qualified professional, and mitigated as directed prior to re-enclosure.
- Prior to installation confirm that interior finish materials do not exceed the maximum flame spread for classifications based on occupancy per CBC Table 803.5.
- The maximum pile height of carpet shall be 1/2".

DOOR NOTES:

- Residential unit doors and hardware in the Door Schedule describe only those items to be replaced; refer to Contractor's replacement matrix to determine where these items apply.
- The unlatching of any exit door shall not require more than one operation.
- All exit doors shall be operable from the inside without the use of a key or any special knowledge.
- Hardware at doors accessible to the physically disabled shall be centered between 30 and 44 inches above the finished floor or landing, and shall be operable without the requirement to grasp the operating hardware.
- Exterior and interior door thresholds along an accessible path of travel shall be no more than 1/2 inch above adjacent floor levels, with no single vertical face exceeding 1/4 inch and sloping at a minimum of 2 horizontal to 1 vertical between 1/4 inch and 1/2 inch rise.
- The pressure exerted by door closers shall not exceed 5 pounds.
- The bottom 10 inches of all accessible doors shall be a smooth, uninterrupted surface.
- All glazing in doors shall be tempered safety glass.

DOOR TYPES



PROJECT

MADONNA
ROAD
APARTMENTS

A RENOVATION AND
UPGRADE PROJECT

1550 MADONNA ROAD
SAN LUIS OBISPO, CA

CLIENT JOB # ARCHITECT JOB #

1207



971 OSOS STREET
SAN LUIS OBISPO
CALIFORNIA 93401

805-544-6161

www.fraserseiplearchitects.com

PROJECT MANAGER BDF

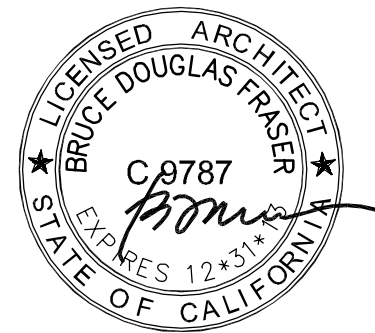
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DATES 08-08-2012 1st SUBMITTAL

09-19-2012 1st RE-SUBMITTAL

10-05-2012 FOR CONSTRUCTION

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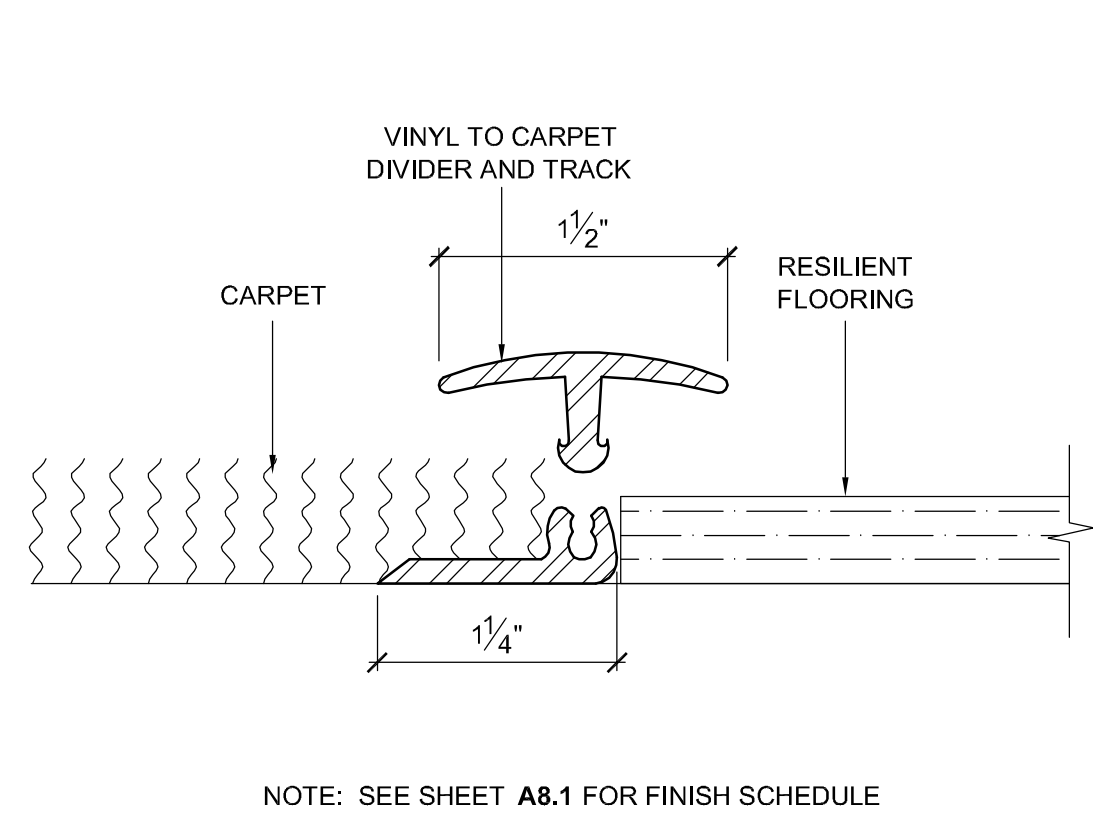
SHEET TITLE

DOOR, WINDOW
& FINISH
SCHEDULES

SHEET #

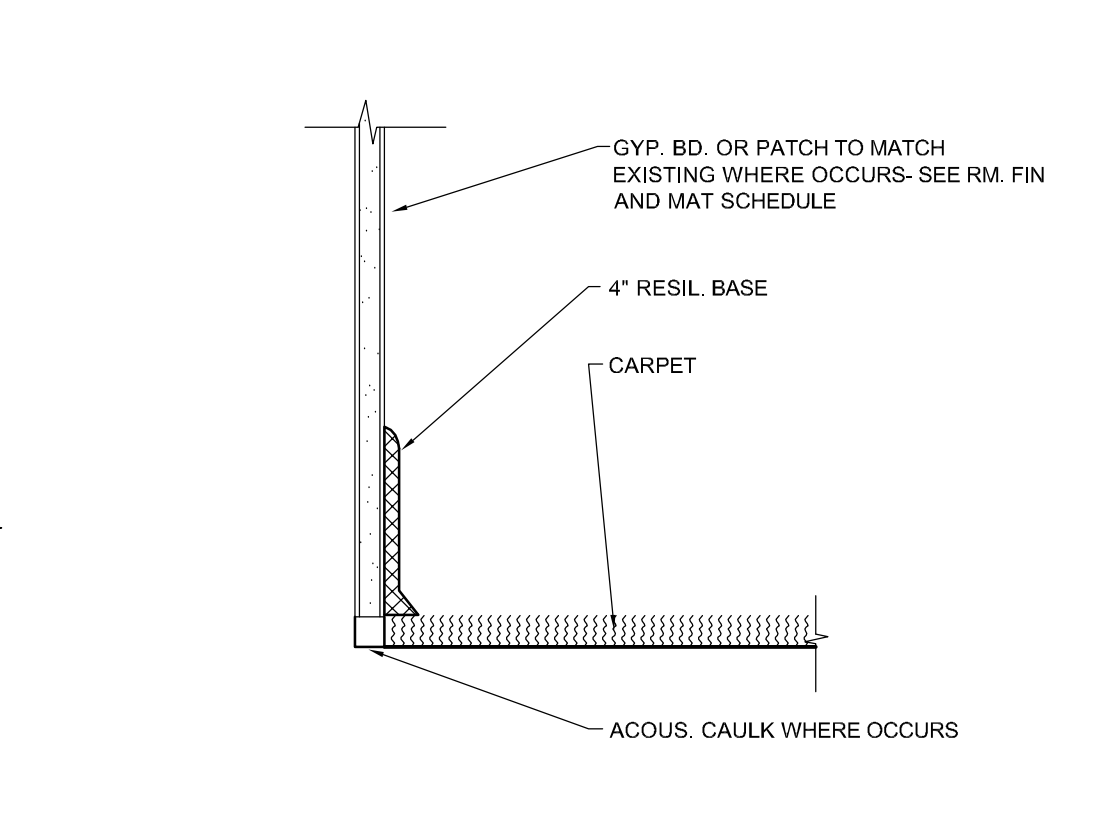
A8.1

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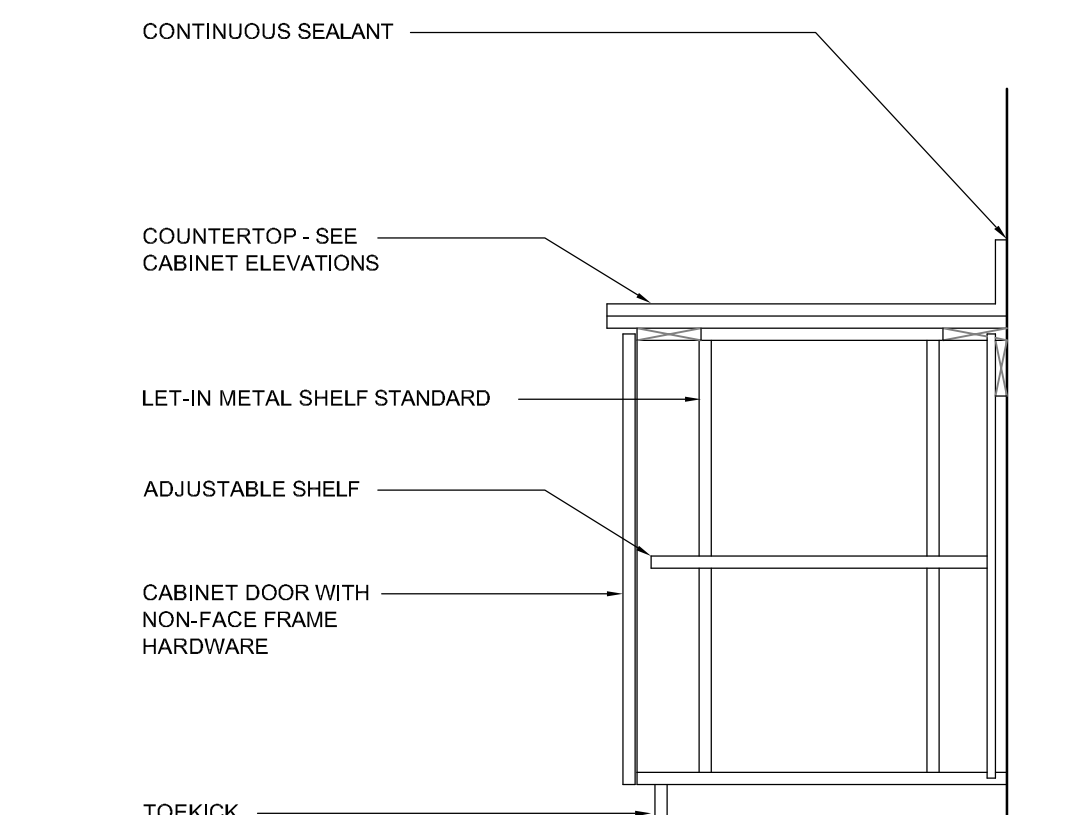


NOTE: SEE SHEET A8.1 FOR FINISH SCHEDULE

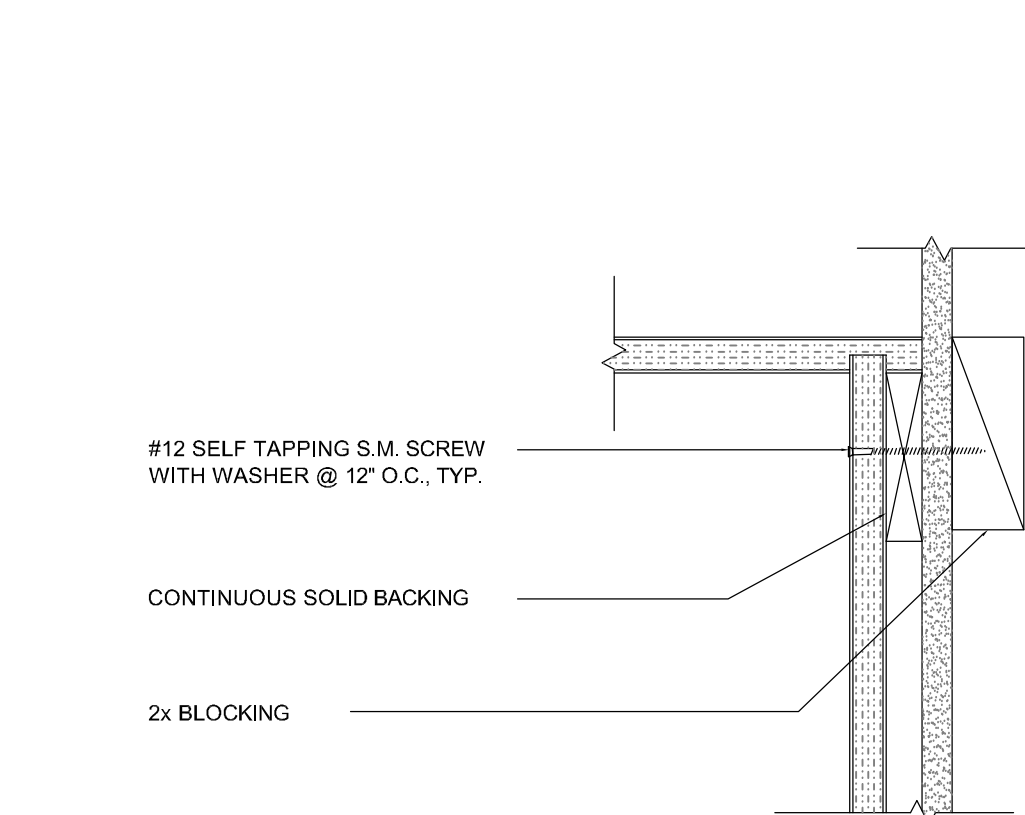
51 CARPET-VPF TRANSITION
1:1



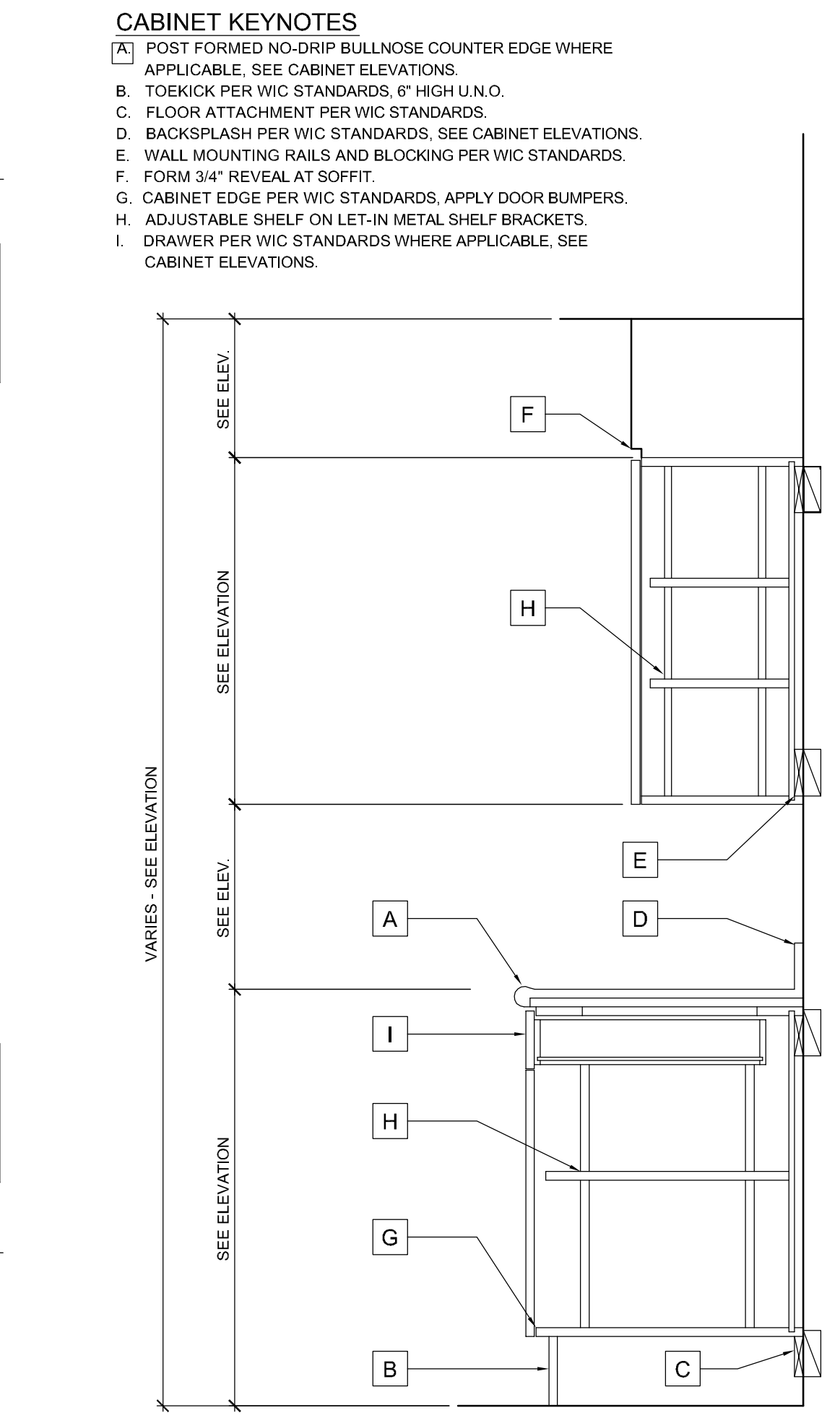
41 BASE: RESILIENT FLOOR: CARPET
3\"=1'-0\"



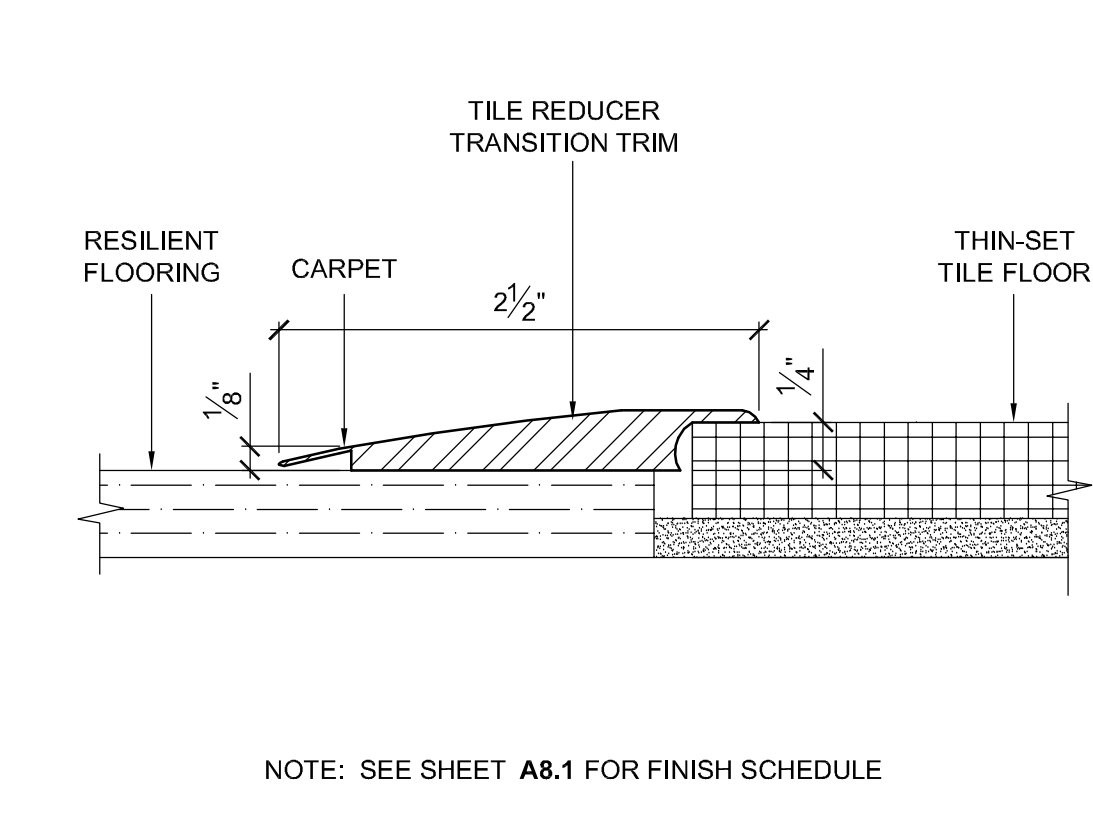
31 BASE CABINET
1\"=1'-0\"



22 WALL CAB'T ANCHORAGE
1 1/2\"=1'-0\"

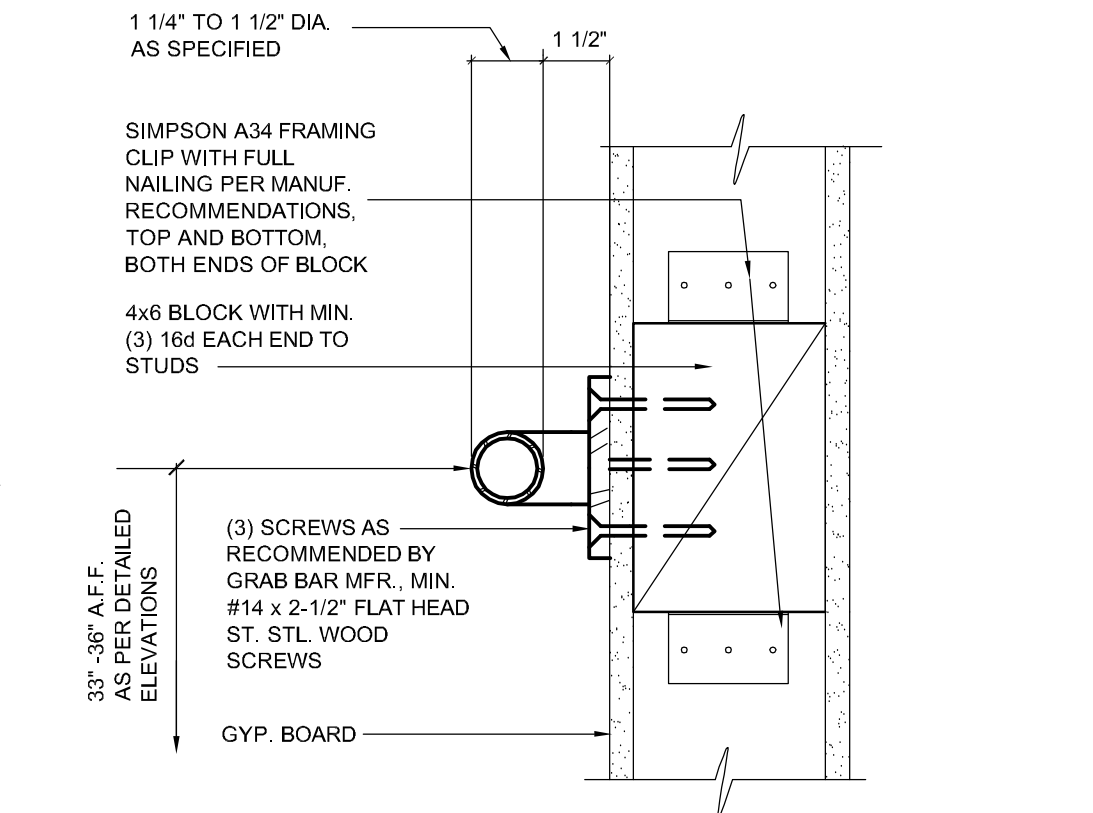


12 CABINET SECTION
1\"=1'-0\"

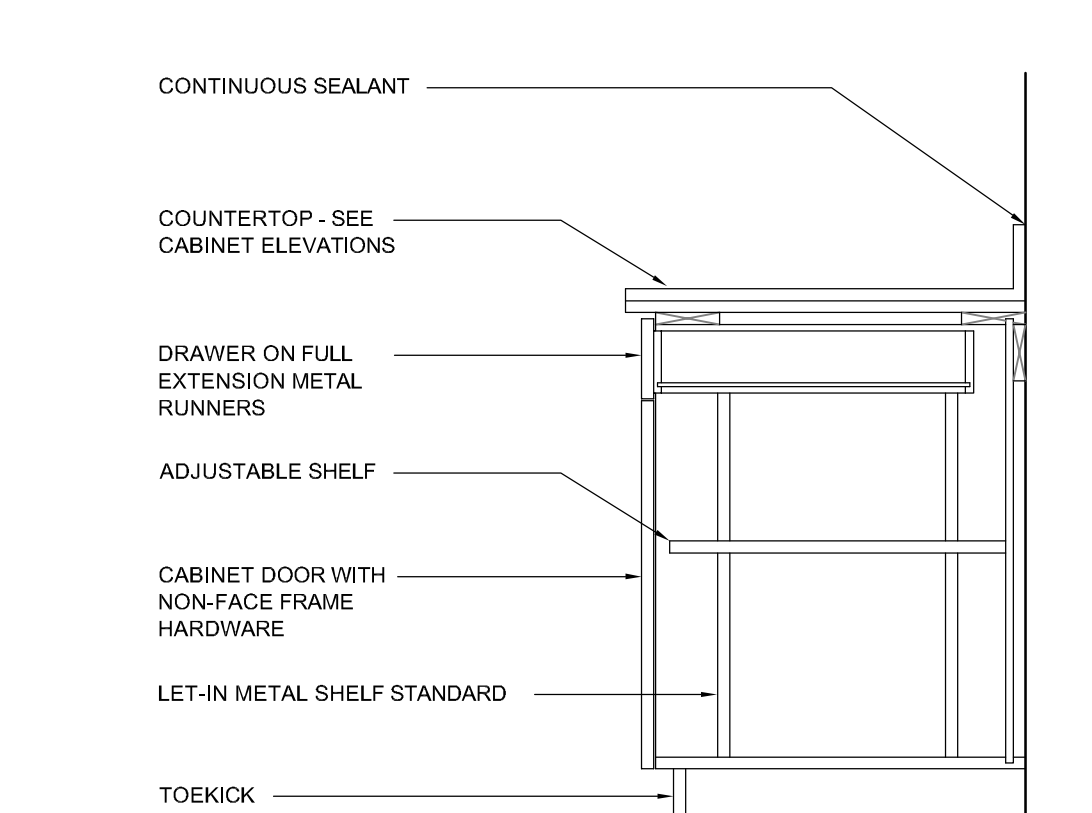


NOTE: SEE SHEET A8.1 FOR FINISH SCHEDULE

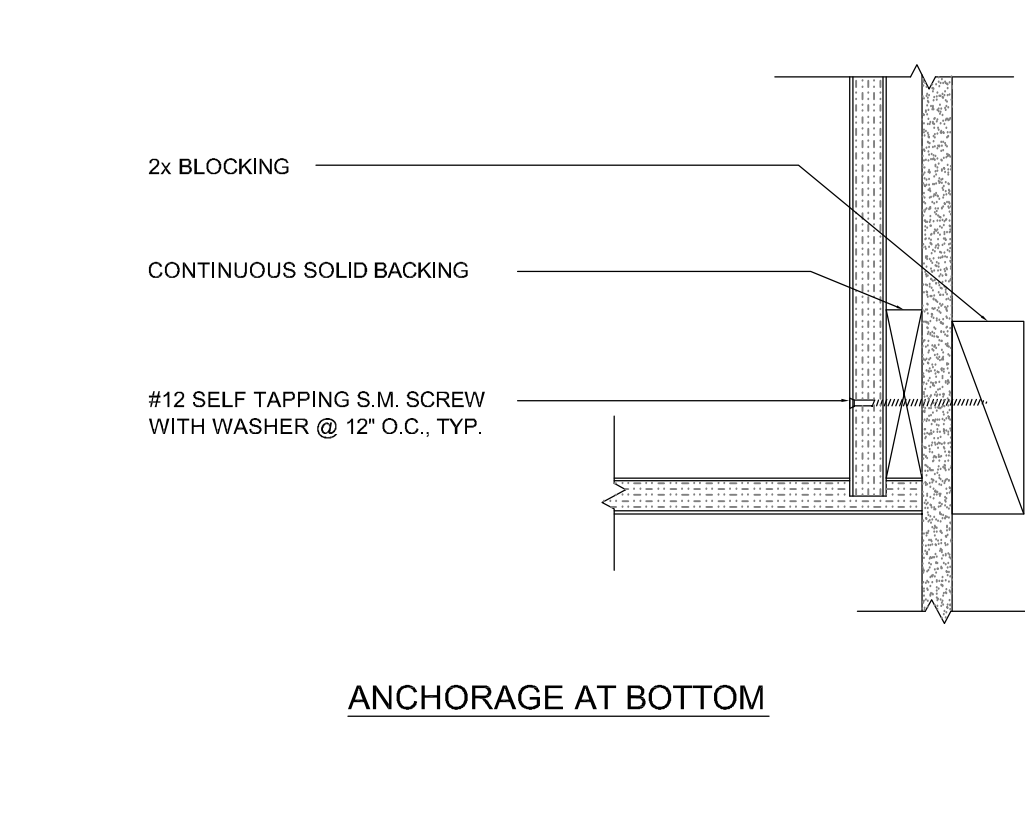
52 RESIL.-TILE TRANSITION
1:1



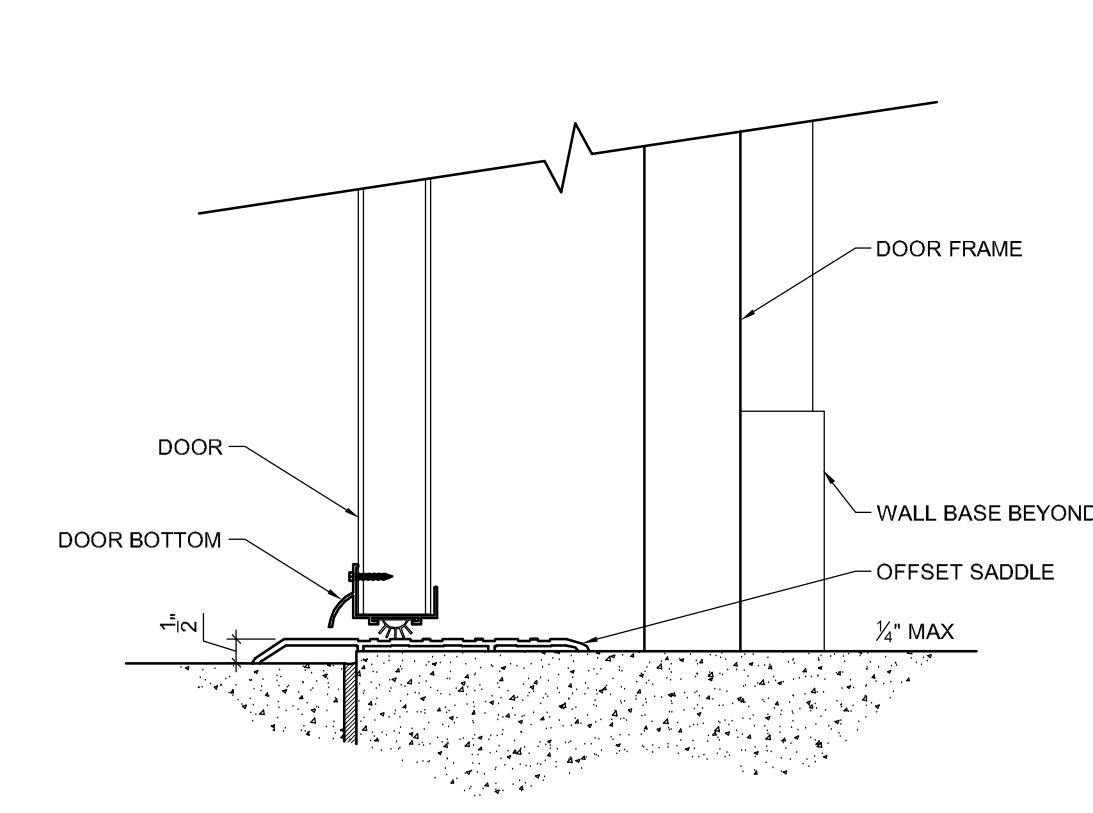
42 TYP. GRAB BAR MOUNT
3\"=1'-0\"



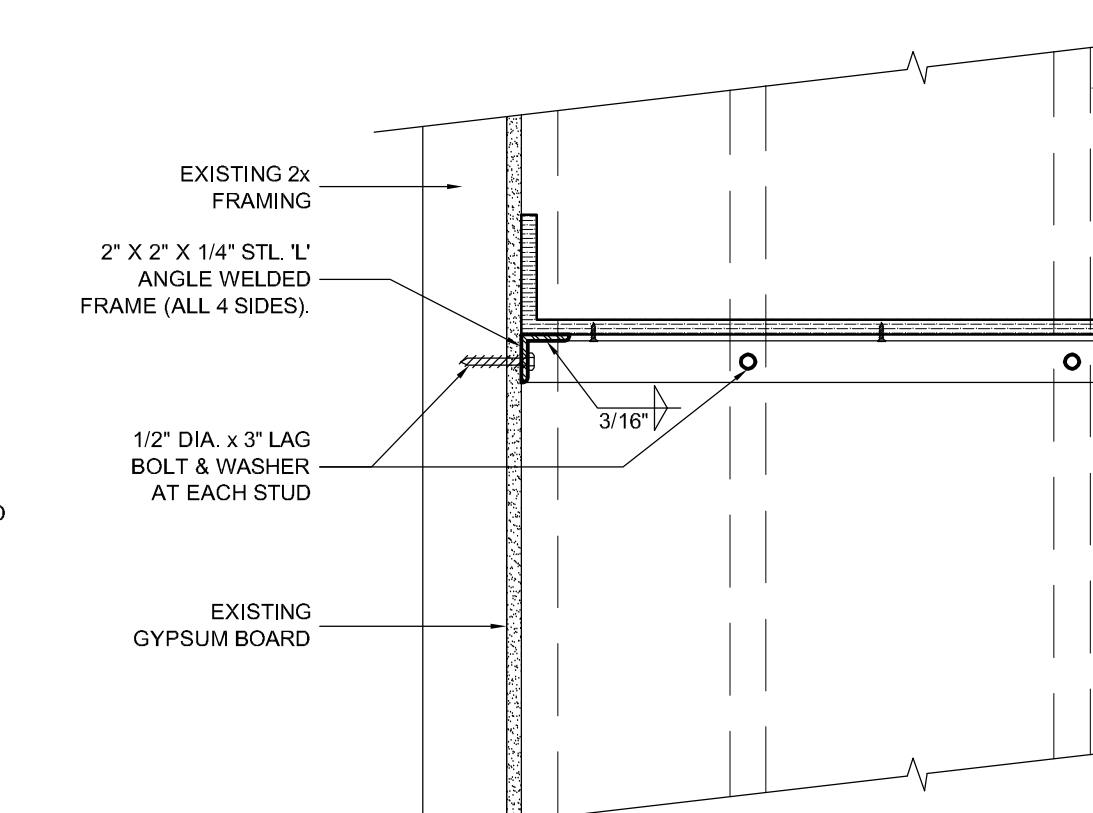
32 BASE CAB'T WITH DRAWER
1\"=1'-0\"



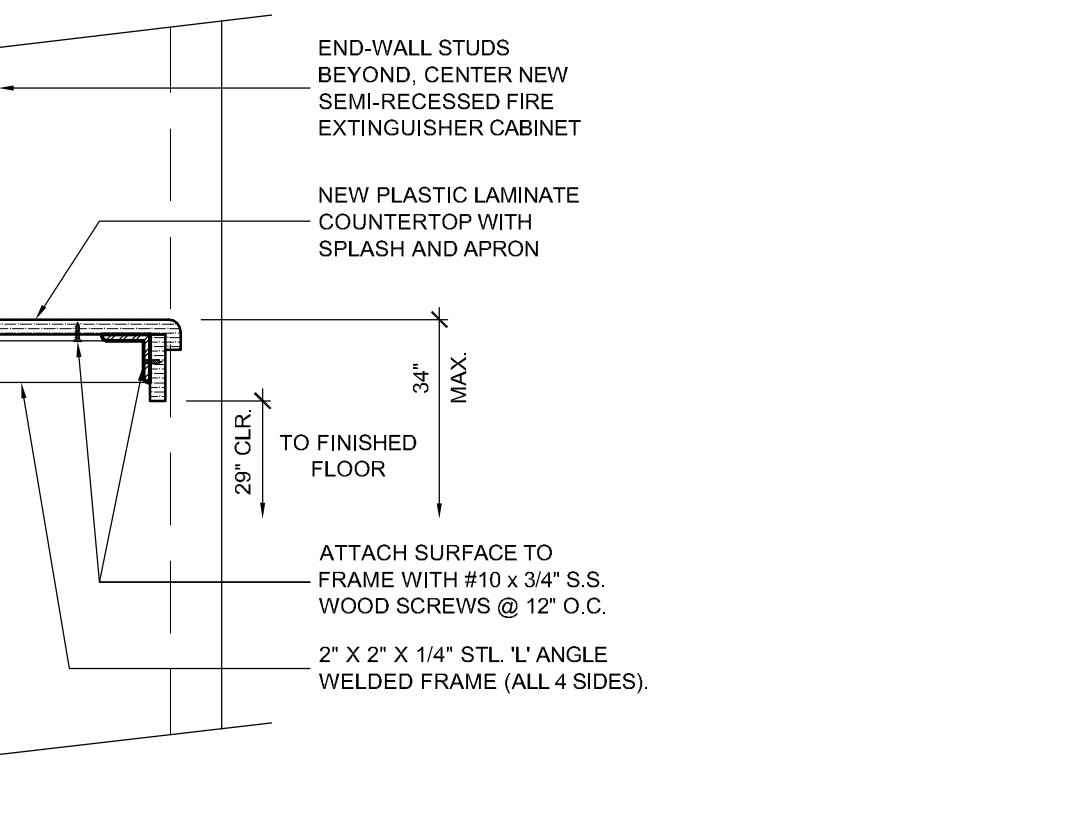
22 WALL CAB'T ANCHORAGE
1 1/2\"=1'-0\"



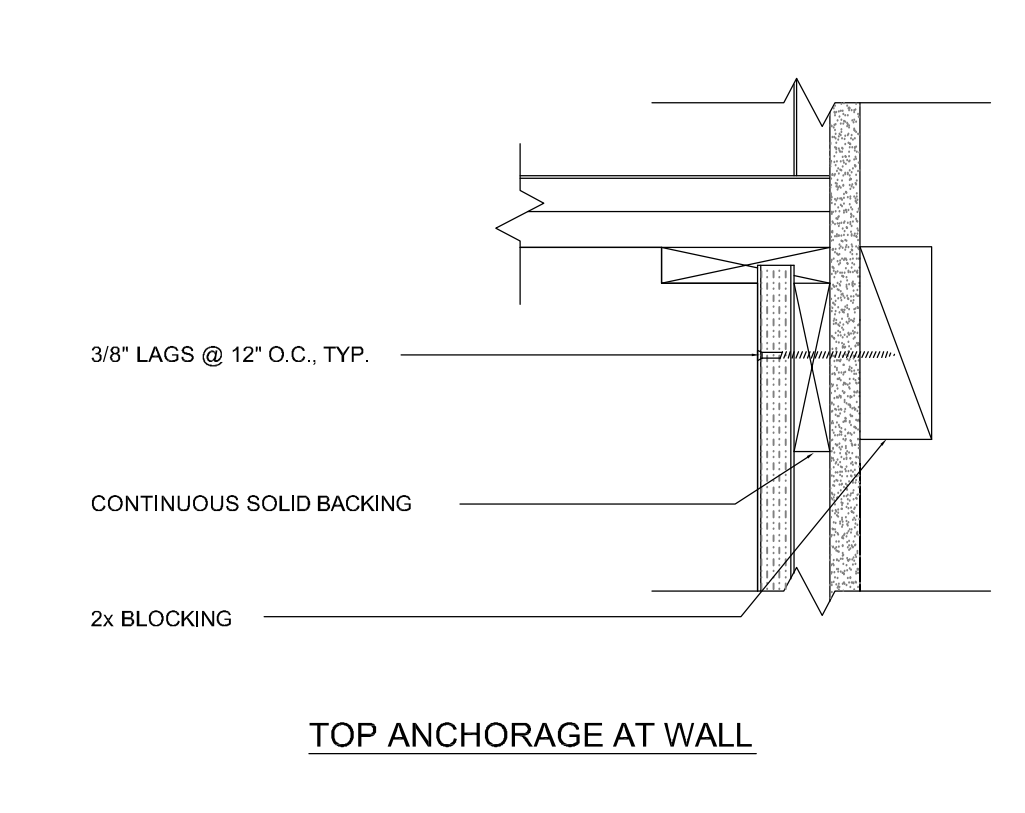
53 DOOR THRESHOLD
3\"=1'-0\"



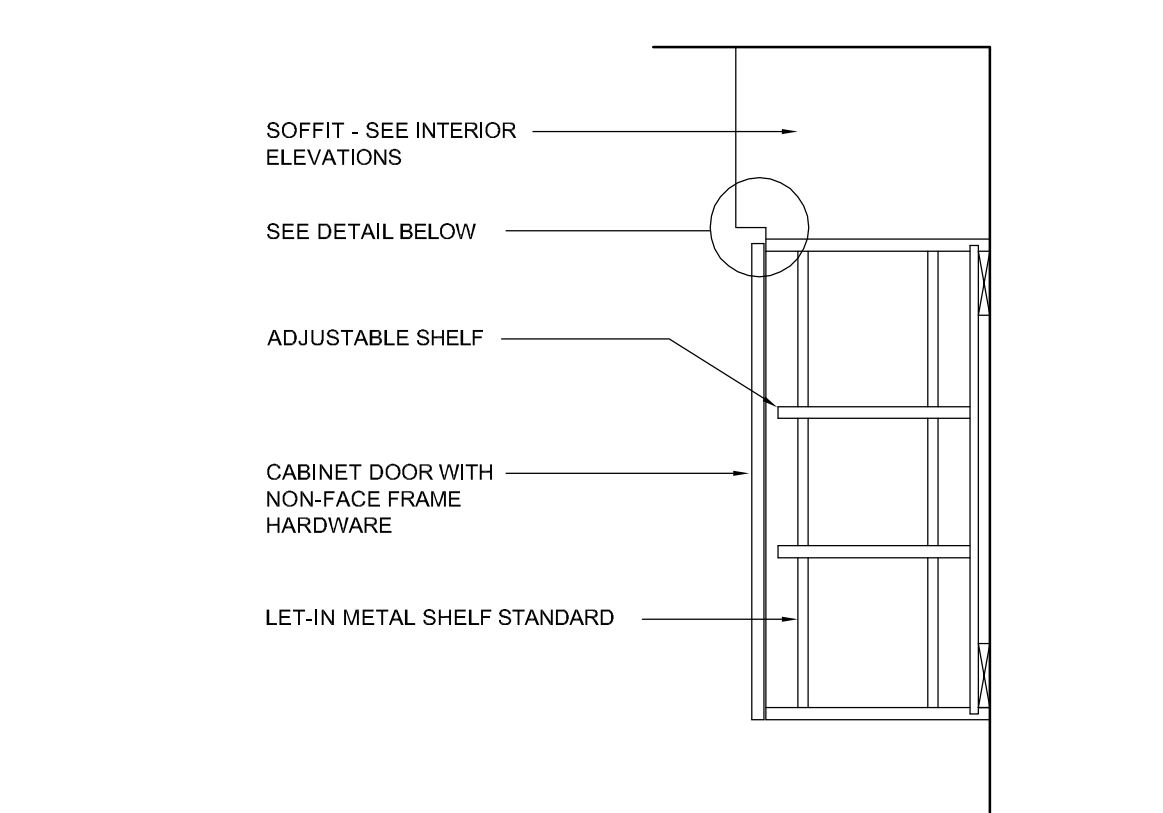
43 LAUNDRY COUNTERTOP
1 1/2\"=1'-0\"



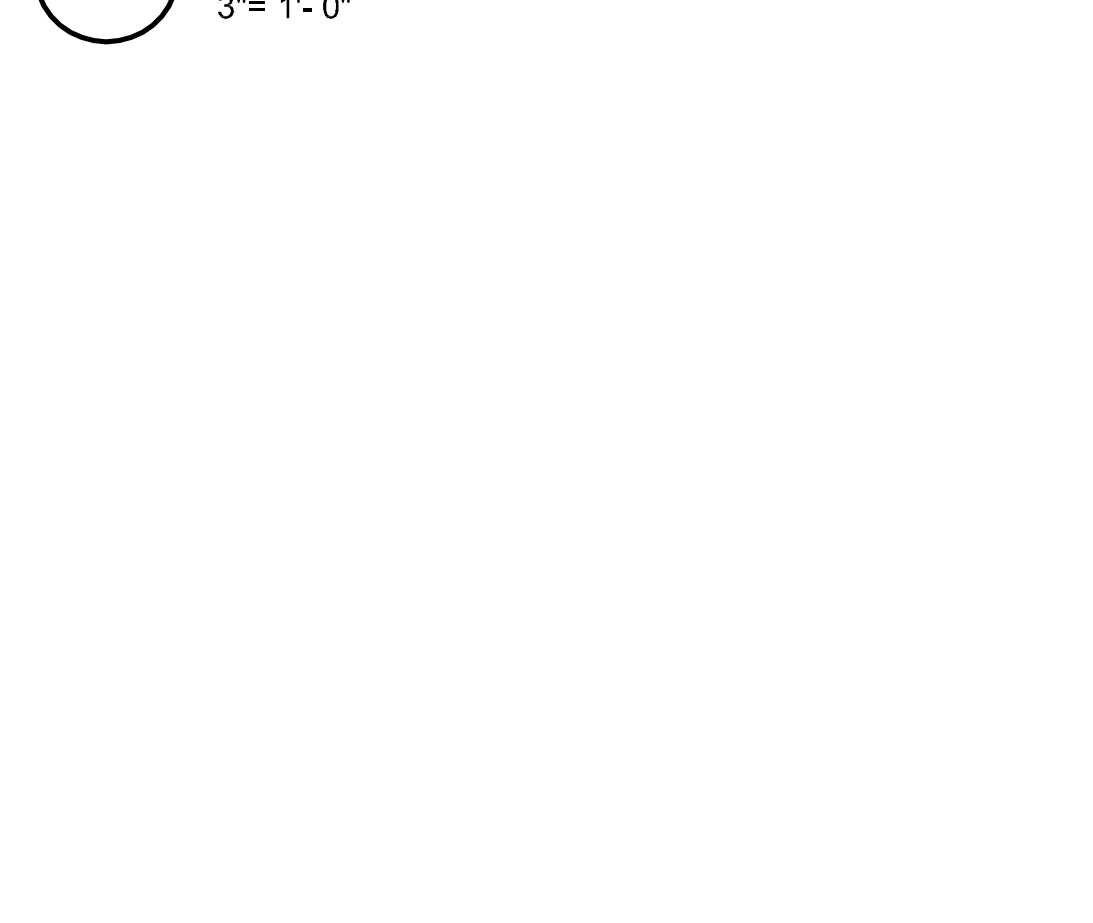
32 BASE CAB'T WITH DRAWER
1\"=1'-0\"



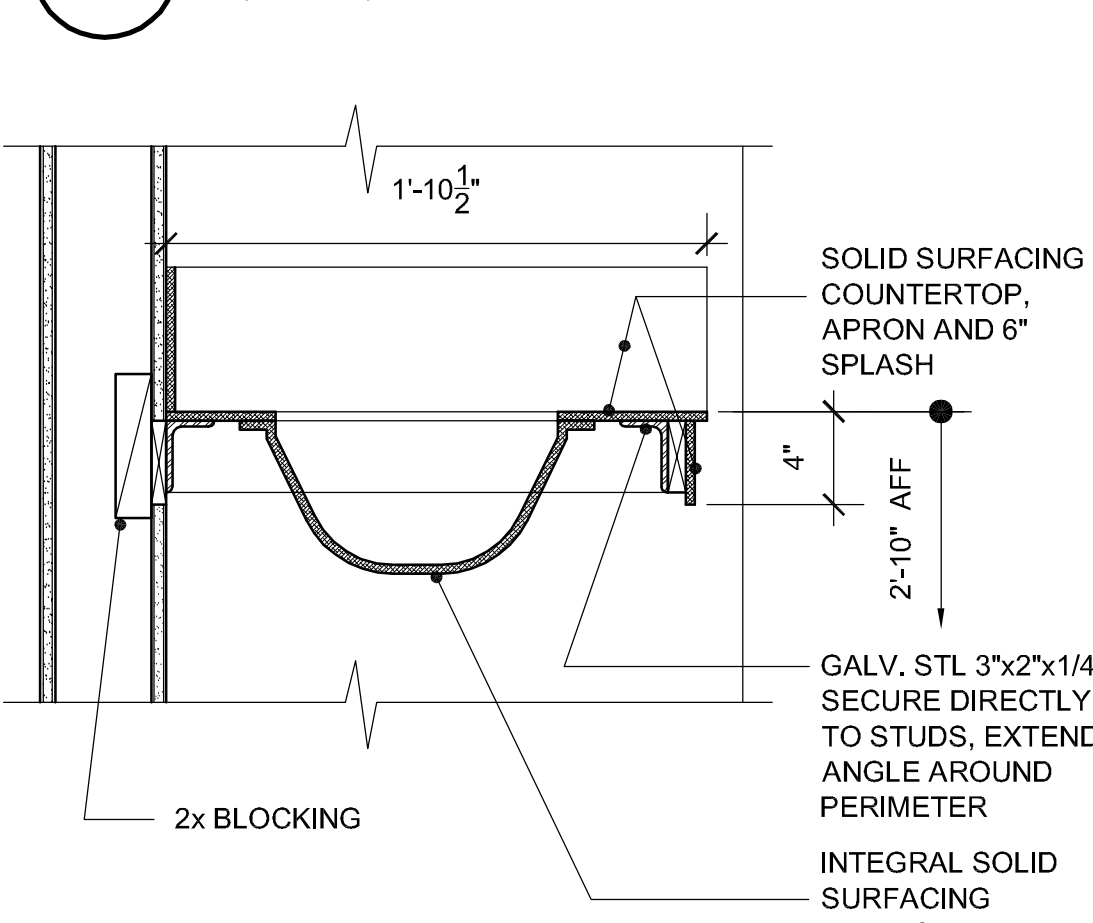
22 WALL CAB'T ANCHORAGE
1 1/2\"=1'-0\"



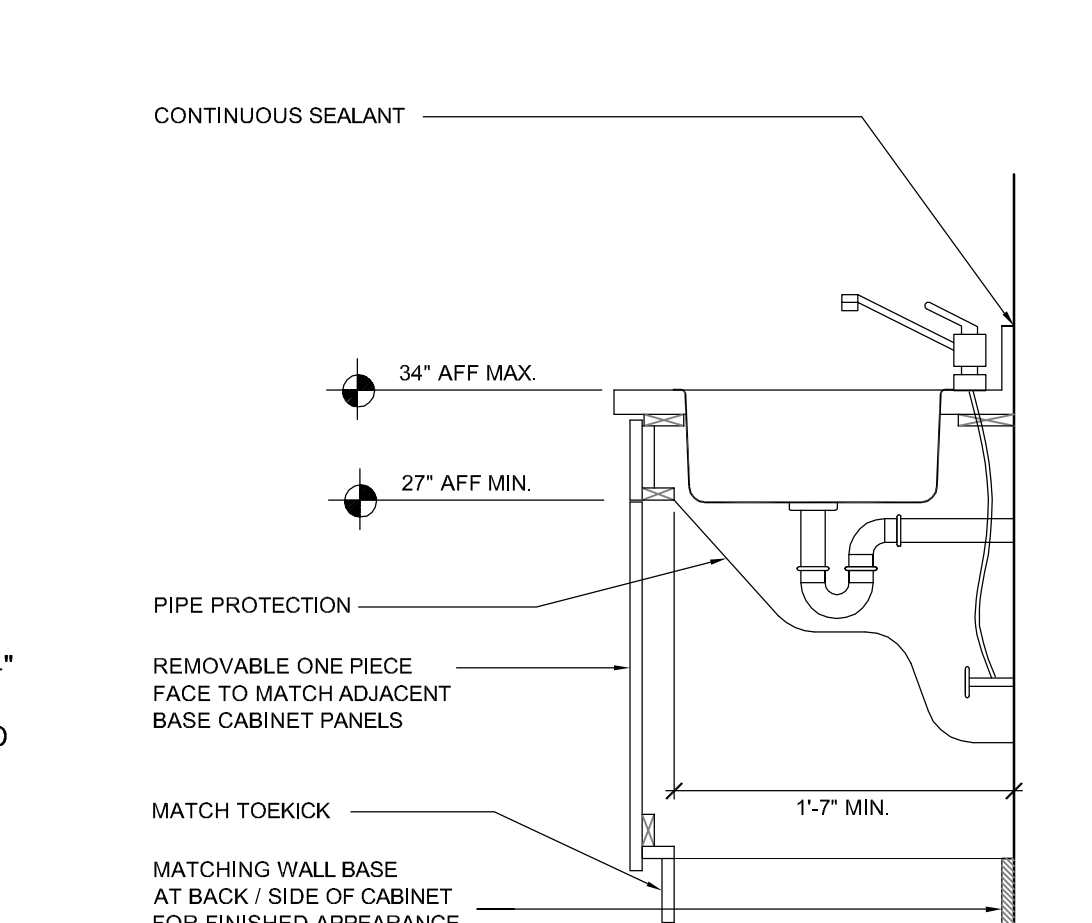
12 CABINET SECTION
1\"=1'-0\"



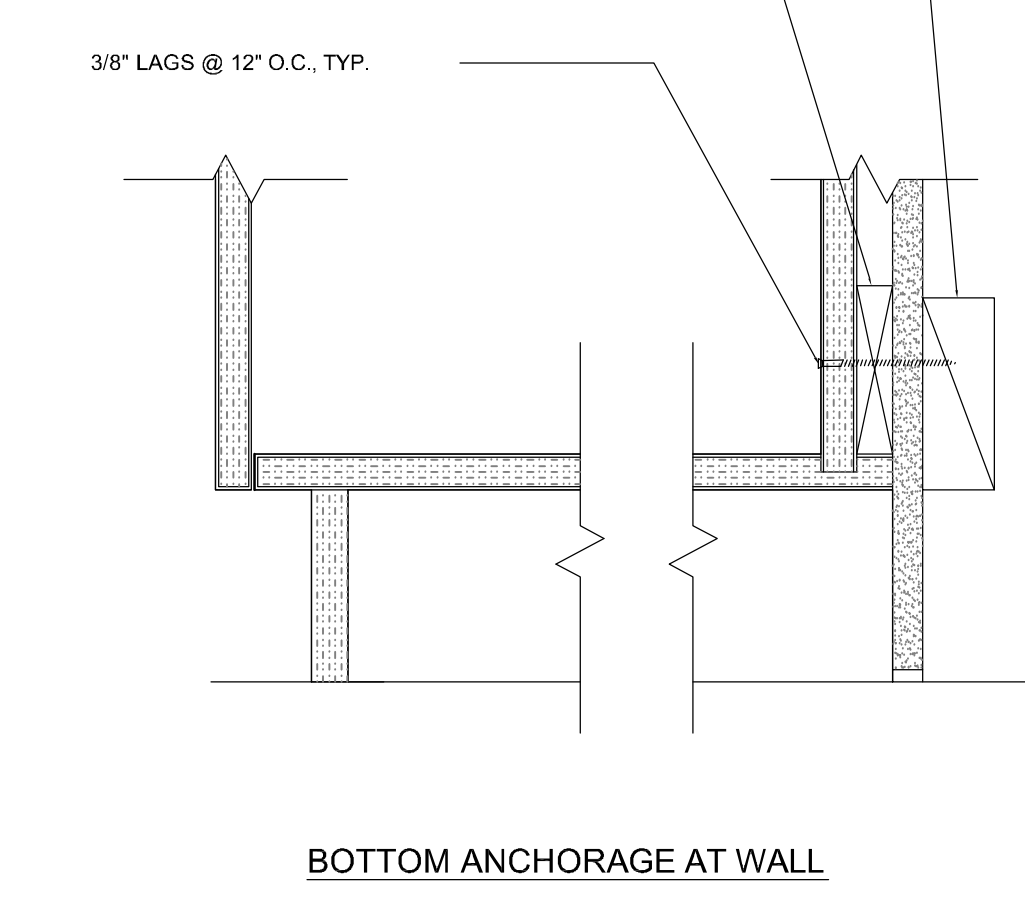
53 DOOR THRESHOLD
3\"=1'-0\"



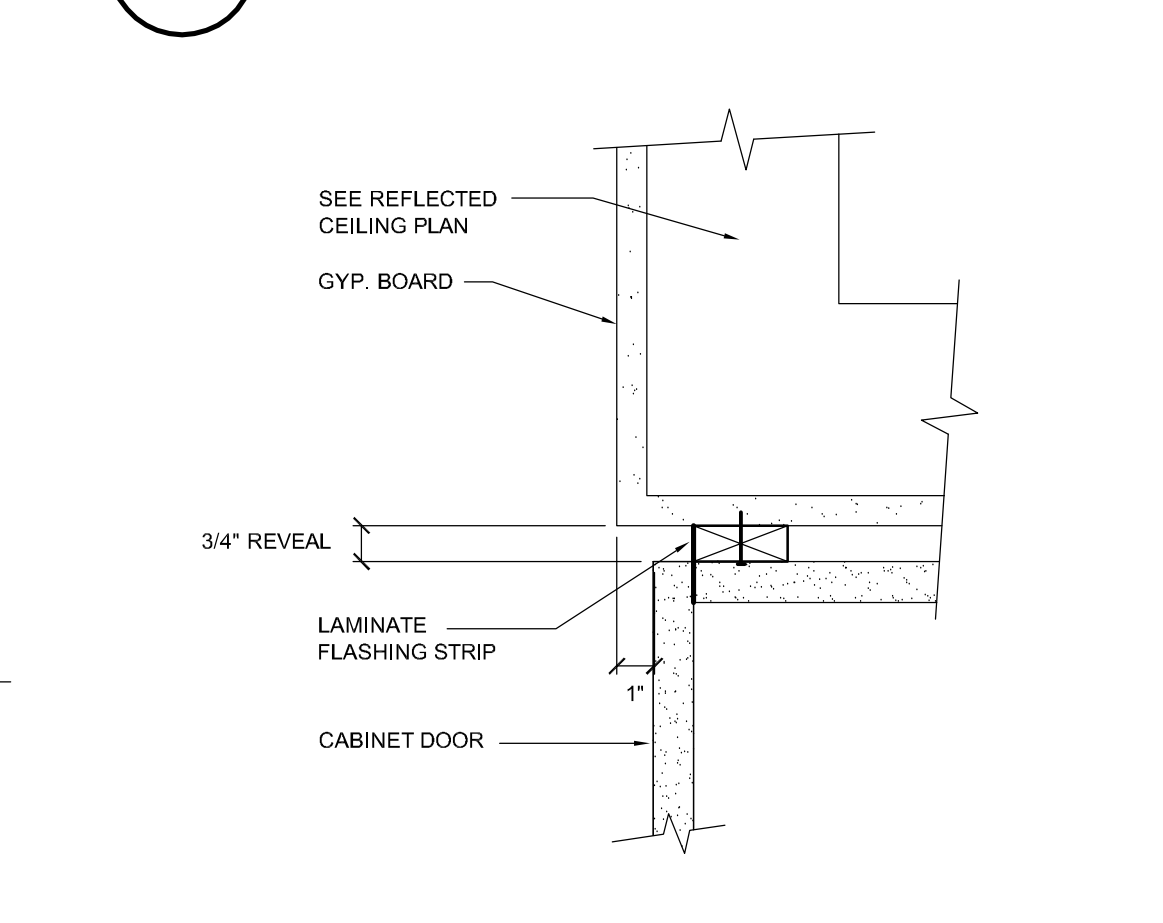
43 LAUNDRY COUNTERTOP
1 1/2\"=1'-0\"



32 BASE CAB'T WITH DRAWER
1\"=1'-0\"



22 WALL CAB'T ANCHORAGE
1 1/2\"=1'-0\"



13 WALL CABINET
1\"=1'-0\"

- CABINET KEYNOTES**
- A. POST FORMED NO-D RIP BULLNOSE COUNTER EDGE WHERE APPLICABLE, SEE CABINET ELEVATIONS.
 - B. TOEKICK PER WIC STANDARDS, 6\"/>
 - C. FLOOR ATTACHMENT PER WIC STANDARDS.
 - D. BACKSPLASH PER WIC STANDARDS, SEE CABINET ELEVATIONS.
 - E. WALL MOUNTING RAILS AND BLOCKING PER WIC STANDARDS.
 - F. FORM 3/4\"/>
 - G. CABINET EDGE PER WIC STANDARDS, APPLY DOOR BUMPERS.
 - H. ADJUSTABLE SHELF ON LET-IN METAL SHELF BRACKETS.
 - I. DRAWER PER WIC STANDARDS WHERE APPLICABLE, SEE CABINET ELEVATIONS.

MADONNA ROAD APARTMENTS

A RENOVATION AND UPGRADE PROJECT

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CLIENT JOB # ARCHITECT JOB #
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FRASER SEIPLE ARCHITECTS

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SHEET TITLE
CASEWORK & FINISH DETAILS
(COMMON BUILDINGS & RESIDENTIAL)

SCALE: AS NOTED

SHEET #
A10.1