

# ACCESSIBILITY IMPROVEMENTS

## ROLLING HILLS APARTMENTS

### TEMPLETON, CA

PROJECT

ACCESSIBILITY  
IMPROVEMENTS

ROLLING  
HILLS  
APARTMENTS

TEMPLETON, CA

CLIENT JOB # ARCHITECT JOB #  
0708B

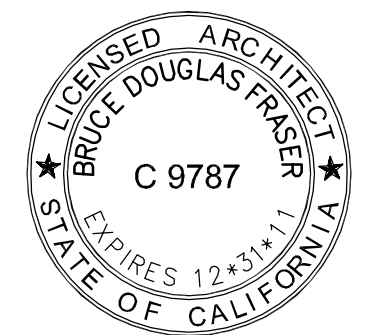


PROJECT MANAGER BDF

DRAWN BY DDL

DATES 22 Feb 10 - Plan Check 1

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SHEET TITLE

TITLE SHEET  
PROJECT DATA

SHEET #

T1

### PROJECT DESCRIPTION

THE SCOPE OF THIS PROJECT CONSISTS OF DEMOLITION OF EXISTING NON-STRUCTURAL / NON-COMPLIANT APPLIANCES, WALLS, DOORS, AND SITE ELEMENTS AND THE CONSTRUCTION OF NEW IMPROVEMENTS TO ACHIEVE ACCESSIBILITY IN BOTH THE SITE, (2) 1 BEDROOM FLATS AND (1) TWO BEDROOM FLAT. NO STRUCTURAL CHANGES WILL BE MADE TO THE EXISTING DWELLING UNITS.

### GENERAL NOTES

- All work shall comply with the minimum standards of the following codes as amended by the City of Templeton:
  - California Building Code, 2007 Edition
  - California Plumbing Code, 2007 Edition
  - California Mechanical Code, 2007 Edition
  - California Electrical Code, 2007 Edition
  - California Code of Regulations Title 24
  - Americans with Disabilities Act
  - All accumulative supplements to the above codes.
  - All applicable standards, ordinances and regulations of the agencies with jurisdiction over the work.
- The California Energy Conservation Standards contained in Title 24 of the California Code of Regulations, have been reviewed and the buildings described herein are in substantial conformance with those standards which apply to new construction.
- A Certificate of Construction Compliance, based on observation of construction, shall be signed and transmitted to the inspecting Building Official by the Contractor upon request.
- The Contractor shall verify all existing conditions for dimension, grade, configuration, and other aspects of compatibility with the work described in these Construction Documents. Any conditions which interfere with the work shall immediately be brought to the attention of the Architect and the work shall not proceed in the areas of conflict until such conflicts have been resolved.
- Written dimensions shall take precedence over drawing scale or proportion.
- Prior to commencement of any work in the public right-of-way an encroachment permit shall be obtained from the City of Paso Robles.
- A Grading Permit is not required for this project. A building pad under a separate permit is being provided for this project.
- No hazardous materials shall be stored and/or used within this building which exceed the quantities listed in CBC Tables 307.1(1) & 307.1(2).

### PROJECT DATA

ASSESSOR'S PARCEL NUMBER: 040-289-013  
 LAND USE CATEGORY: RMF (RESIDENTIAL MULTI-FAMILY)  
 PLANNING AREA: SALINAS RIVER  
 SITE AREA: 234,974 S.F. = 5.4 ACRES  
EXISTING BUILDINGS  
 DWELLINGS - 53  
 COMMON SPACE / LAUNDRY FACILITIES- 2  
 MANAGERS OFFICE- 1  
EXISTING PARKING  
 STANDARD SPACES- 79  
 ACCESSIBLE SPACES- 3  
SCOPE OF WORK  
 REMODELED ACCESSIBLE UNITS > 5% TOTAL UNIT COUNT 3  
 NEW / UPDATED ACCESSIBLE PARKING SPACES 4

### PROJECT DIRECTORY

ARCHITECT: FRASER SEIPLE ARCHITECTS  
 971 OSOS STREET  
 SAN LUIS OBISPO, CA 93401  
 T: 805-544-6161 F: 805-544-6183  
 bruce@fraserseiplearchitects.com

OWNER / DEVELOPER: PEOPLES' SELF-HELP HOUSING  
 3533 EMPLEO, SAN LUIS OBISPO, CA  
 Tel: (805)781-3088 x453 Fax: (805) 544-1901

### AREA PLAN

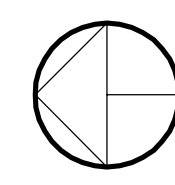


### SHEET INDEX

T1	TITLE SHEET
A1.1	EXISTING SITE PLAN
A1.2	SITE DEMOLITION PLAN / ACCESSIBILITY IMPROVEMENTS
A2.1	1 BEDROOM FLAT REMODEL PLAN
A2.2	2 BEDROOM FLAT REMODEL PLAN
A3.1	ACCESSIBILITY DETAILS
A3.2	ACCESSIBILITY DETAILS

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 **EXISTING SITE PLAN**  
SCALE : 1" = 30'

- KEYNOTES**
1. ACCESSIBLE MAILBOXES.
  2. VAN ACCESSIBLE PARKING SPACE.
  3. ACCESSIBLE RAMP.
  4. ACCESSIBLE PARKING SIGN.
  5. EXISTING DOOR MOUNTED INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN.
  6. TRASH ENCLOSURE.
  7. ACCESSIBLE COMMON BUILDING.
  8. ACCESSIBLE LAUNDRY FACILITIES.
  9. NON-COMPLIANT RAMP. RAMP EXCEEDS 8.3% SLOPE.
  10. CROSS SLOPE EXCEEDS 2% IN THIS AREA.
  11. WALKWAY SLOPE EXCEEDS 5% IN THIS AREA.
  12. NON-COMPLIANT RAMP IN STRIPE ZONE .
  13. ACCESSIBLE MANAGEMENT OFFICES.
  14. PROPERTY LINE.
  15. BUILDING SETBACK.
  16. STEPS IN PROPOSED PATH OF TRAVEL.

PROJECT

**ACCESSIBILITY IMPROVEMENTS**

**ROLLING HILLS APARTMENTS**

TEMPLETON, CA

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CLIENT JOB #      ARCHITECT JOB #  
0708B

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**FRASER SEIPLE ARCHITECTS**

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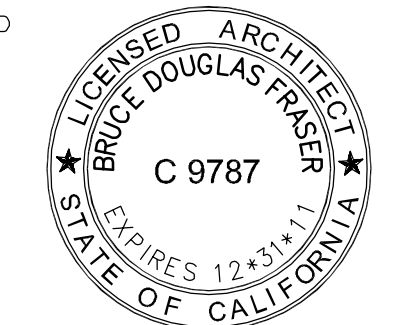
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DATES                22 Feb 10 - Plan Check 1

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SHEET TITLE

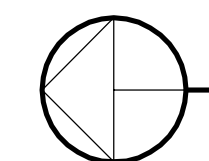
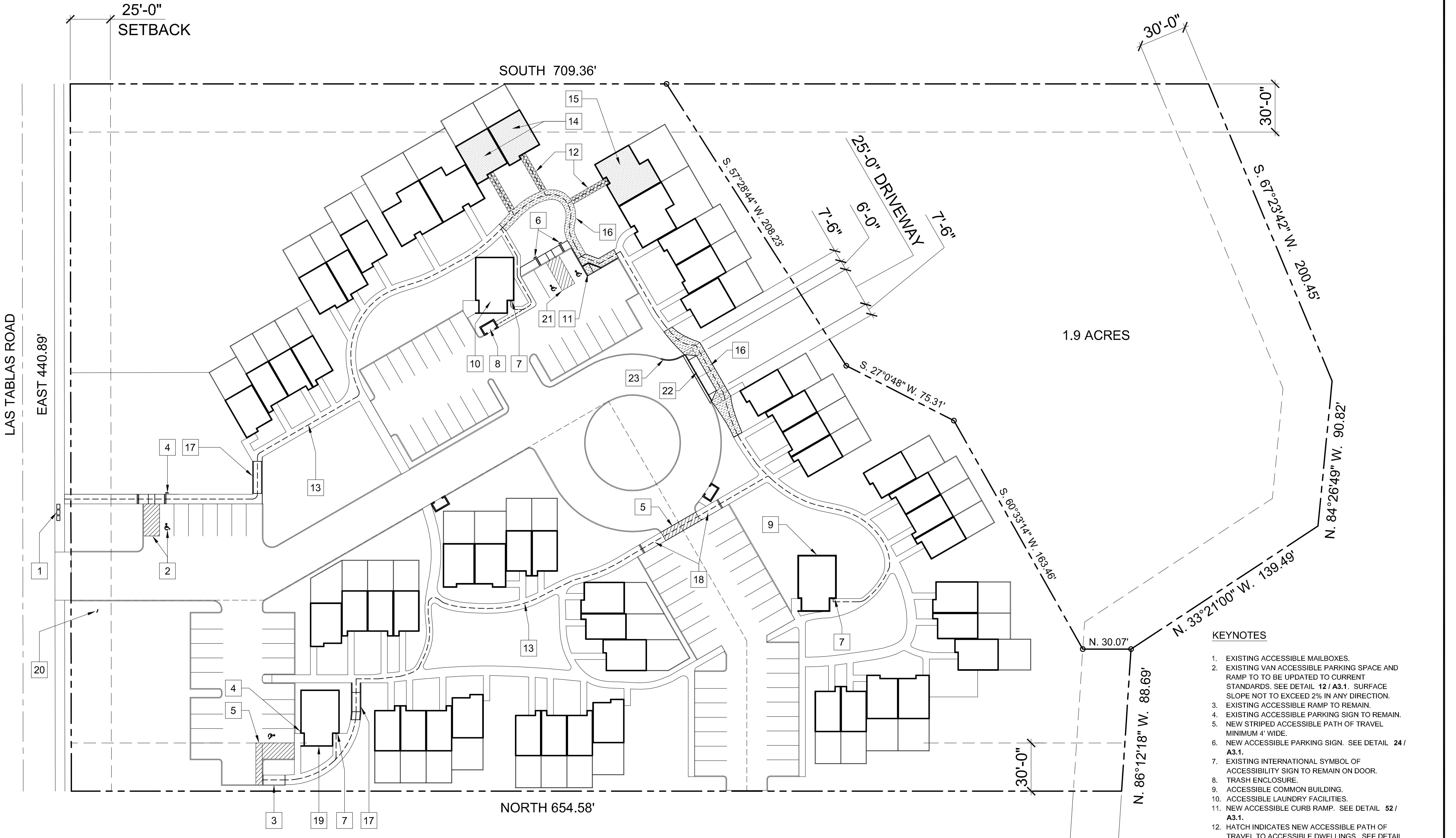
**EXISTING SITE PLAN**

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SHEET #

**A1.1**

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**SITE DEMOLITION PLAN / ACCESSIBILITY IMPROVEMENTS**  
SCALE : 1" = 30'

**KEYNOTES**

1. EXISTING ACCESSIBLE MAILBOXES.
2. EXISTING VAN ACCESSIBLE PARKING SPACE AND RAMP TO TO BE UPDATED TO CURRENT STANDARDS. SEE DETAIL 12 / A3.1. SURFACE SLOPE NOT TO EXCEED 2% IN ANY DIRECTION.
3. EXISTING ACCESSIBLE RAMP TO REMAIN.
4. EXISTING ACCESSIBLE PARKING SIGN TO REMAIN.
5. NEW STRIPED ACCESSIBLE PATH OF TRAVEL MINIMUM 4' WIDE.
6. NEW ACCESSIBLE PARKING SIGN. SEE DETAIL 24 / A3.1.
7. EXISTING INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN TO REMAIN ON DOOR.
8. TRASH ENCLOSURE.
9. ACCESSIBLE COMMON BUILDING.
10. ACCESSIBLE LAUNDRY FACILITIES.
11. NEW ACCESSIBLE CURB RAMP. SEE DETAIL 52 / A3.1.
12. HATCH INDICATES NEW ACCESSIBLE PATH OF TRAVEL TO ACCESSIBLE DWELLINGS. SEE DETAIL 43 / A3.1.
13. DASHED LINE INDICATES ACCESSIBLE PATH OF TRAVEL TO THE PUBLIC WAY.
14. (2) 1 BEDROOM FLATS TO BE CONVERTED TO ACCESSIBLE DWELLING UNITS.
15. (1) 2 BEDROOM FLAT TO BE CONVERTED TO ACCESSIBLE DWELLING UNIT.
16. EXISTING WALKWAY TO BE DEMOLISHED. REFER TO DETAILS 33, 34 & 44 / A3.1 FOR NEW WALKWAY CONSTRUCTION.
17. NEW PEDESTRIAN RAMP. SEE DETAIL 54 / A3.1.
18. NEW ACCESSIBLE CURB RAMP. SEE DETAIL 53 / A3.1.
19. ACCESSIBLE MANAGEMENT OFFICES.
20. INSTALL SIGN AS PER DETAIL 14 / A3.1.
21. (2) NEW VAN ACCESSIBLE PARKING SPACES. SURFACE SLOPE MUST NOT EXCEED 2% IN ANY DIRECTION.
22. NEW DRIVEWAY RAMP AS PER DETAIL 42 / A3.1.
23. MATCH EXISTING CURB CONSTRUCTION.

PROJECT  
**ACCESSIBILITY IMPROVEMENTS**  
**ROLLING HILLS APARTMENTS**

TEMPLETON, CA

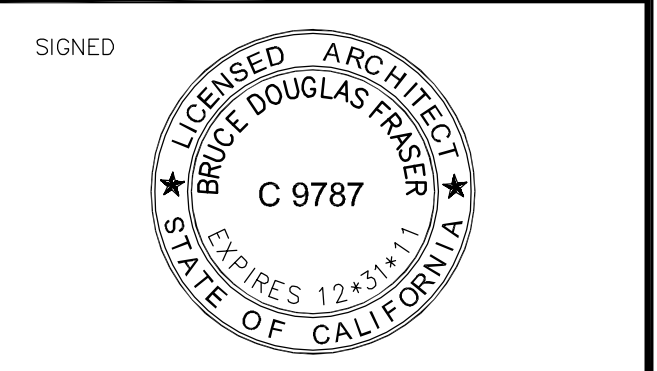
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SHEET TITLE  
**SITE DEMOLITION PLAN / ACCESSIBILITY IMPROVEMENTS**

SHEET #  
**A1.2**

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PROJECT

**ACCESSIBILITY IMPROVEMENTS**

**ROLLING HILLS APARTMENTS**

TEMPLETON, CA

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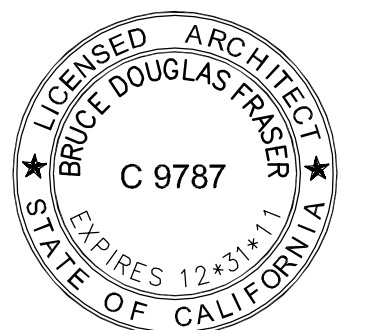


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SHEET TITLE  
**1 BEDROOM FLAT ACCESSIBILITY REMODEL**

SHEET #

**A2.1**

**KEYNOTES**

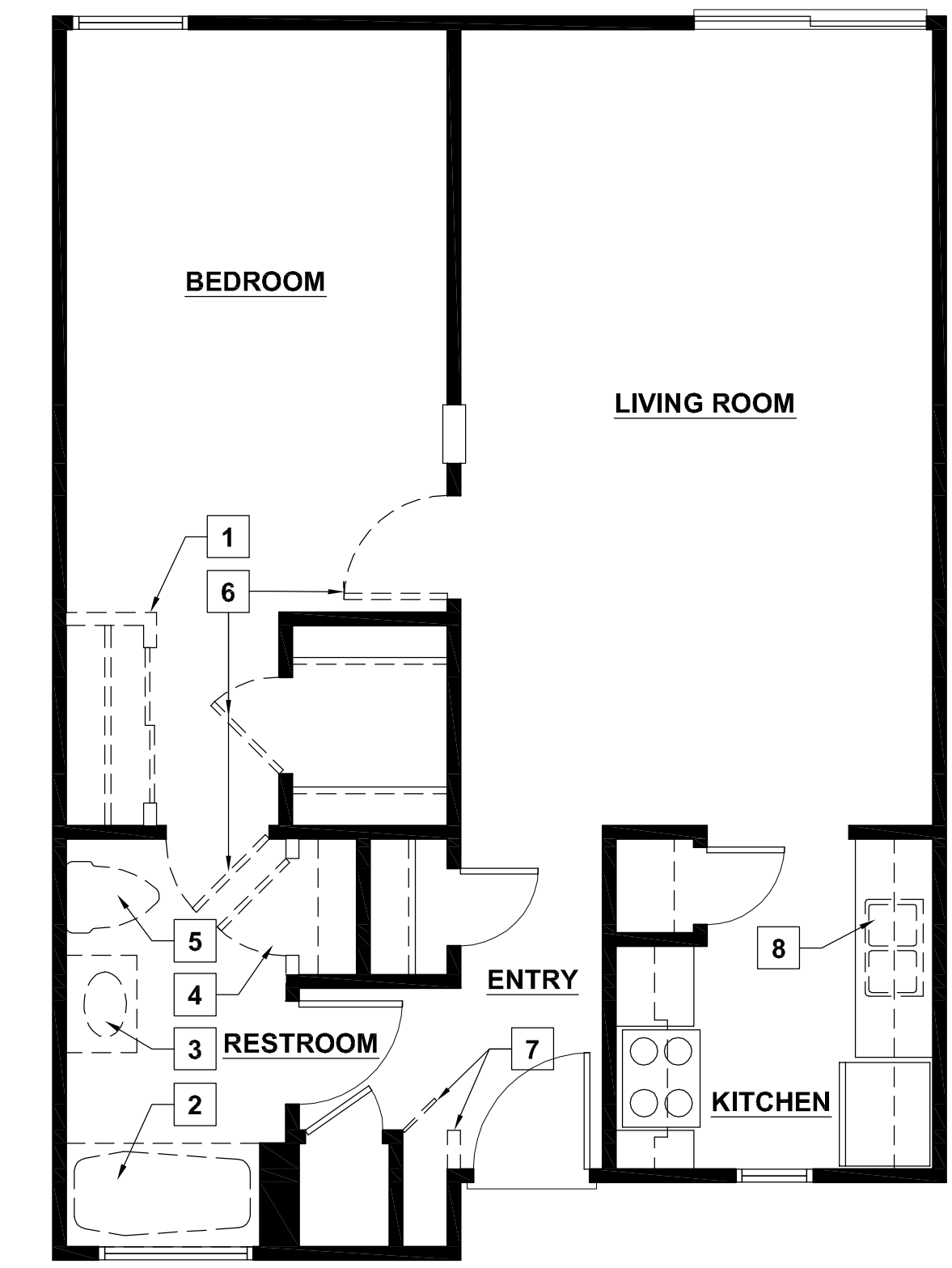
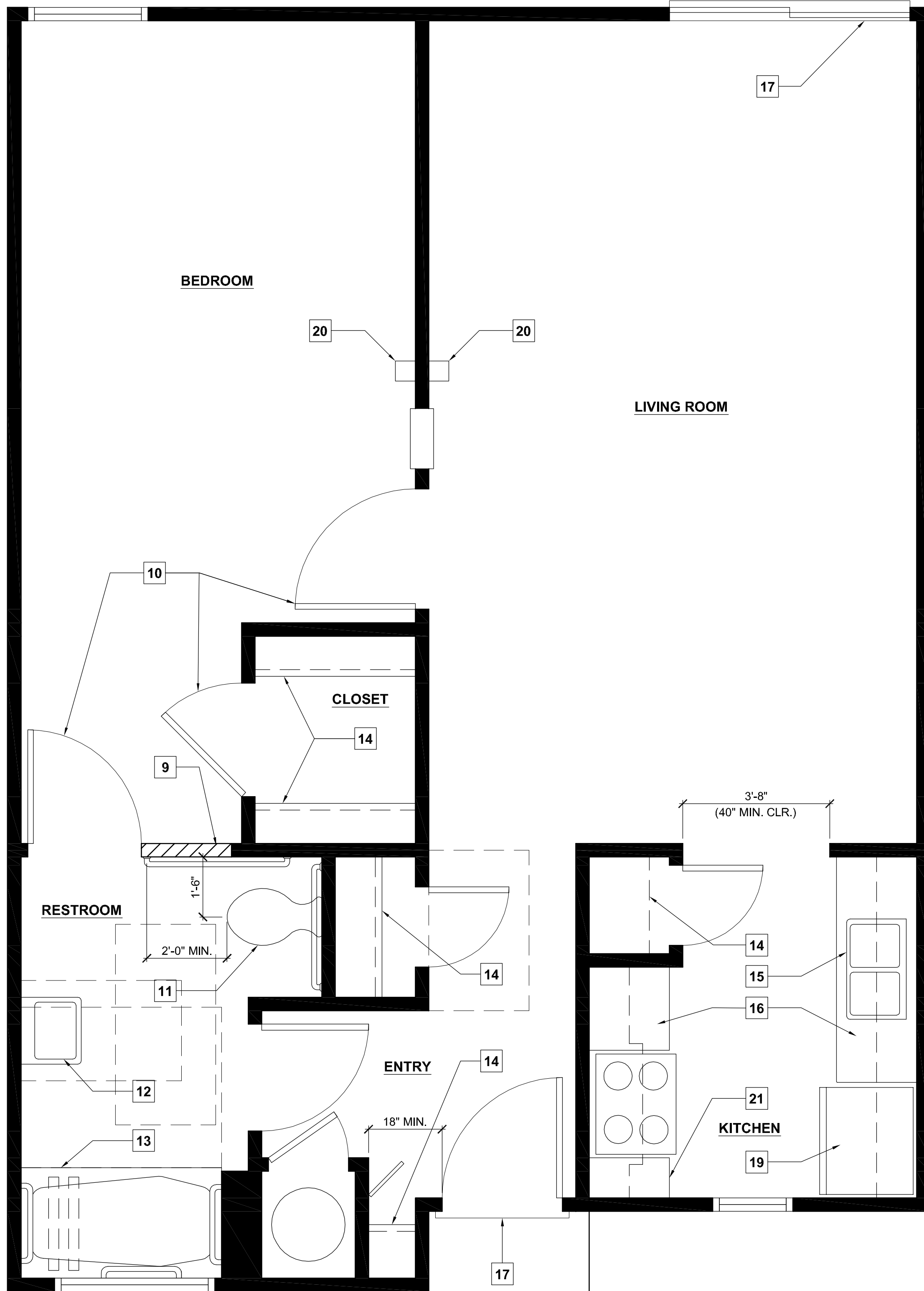
1. REMOVE CLOSET DOORS AND SHELVES AND DEMOLISH WALLS.
2. REMOVE EXISTING NON-ACCESSIBLE TUB/SHOWER.
3. REMOVE EXISTING NON-ACCESSIBLE COUNTER TOP AND SINK. EXISTING PLUMBING LINES TO REMAIN AND PROTECT.
4. REMOVE EXISTING DOOR AND SHELVES AND DEMOLISH WALLS.
5. REMOVE EXISTING NON-ACCESSIBLE TOILET. CAP WATER AND WASTE LINES BELOW FLOOR FRAMING.
6. REMOVE EXISTING DOOR AND FRAME.
7. DEMOLISH WALL AS SHOWN.
8. REMOVE EXISTING NON-ACCESSIBLE SINK.
9. FILL FRAME EXISTING DOORWAY.
10. NEW 3'-0" x 6'-8" DOOR WITH LEVER HARDWARE.
11. NEW ACCESSIBLE WATER CLOSET AND GRAB BARS. SEE DETAIL 11 / A3.2 FOR GRAB BAR INSTALLATION.
12. NEW ACCESSIBLE LAVATORY.
13. NEW ACCESSIBLE BATH / SHOWER.
14. ADJUST SHELVES TO COMPLY WITH THE 2007 CBC SECTION 1127A.11.
15. NEW ACCESSIBLE SINK.
16. NEW ACCESSIBLE KITCHEN COUNTERTOPS AND CABINETS.
17. CREATE ACCESSIBLE THRESHOLD AT DOOR. SEE DETAIL 52 / A31.
18. NEW ACCESSIBLE PATH OF TRAVEL.
19. REPLACE REFRIGERATOR w/ SIDE-BY-SIDE OR BOTTOM FREEZER MODEL.
20. VISIBLE AND AUDIO FIRE ALARM DEVICE.
21. PROVIDE ACCESSIBLE COMMON SWITCH FOR RANGEHOOD AND FAN. SEE INTERIOR ELEVATIONS.

**TOILET ROOM ACCESSIBILITY REQUIREMENTS**

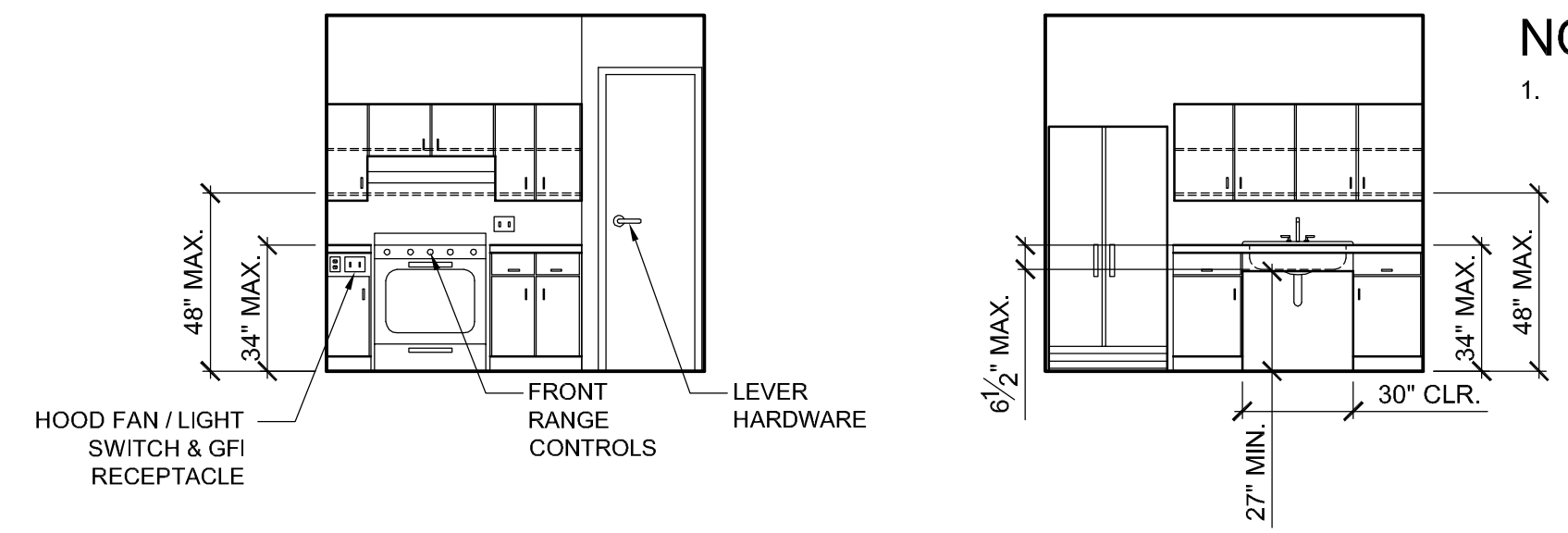
1. PROVIDE MINIMUM 30"x 48" CLEAR FLOOR OR GROUND SPACE TO ALLOW FORWARD OR PARALLEL APPROACH TO ACCESSORIES.
2. ONE FULL UNOBSTRUCTED SIDE OF THE CLEAR OR GROUND SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE OR ADJOIN ANOTHER WHEELCHAIR CLEAR FLOOR SPACE.
3. MOUNT MIRROR(S) WITH THE BOTTOM EDGE NO HIGHER THAN 40" FROM FLOOR.
4. OPERABLE PARTS (INCLUDING COIN SLOTS) OF ALL FIXTURES OR ACCESSORIES SHALL BE LOCATED A MAXIMUM OF 40" ABOVE FLOOR, INCLUDING BUT NOT LIMITED TO SOAP DISPENSERS, TOWELS, TOILET SEAT COVERS, AUTO DRYERS, SANITARY NAPKIN DISPENSERS, AND WASTE RECEPTACLES.
5. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST.
6. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE 5 LB. MAXIMUM. COAT HOOKS, SHELVING AND SIMILAR WALL MOUNTED ITEMS SHALL BE LOCATED WITHIN APPROPRIATE REACH RANGES AS REQUIRED BY CBC 1118B AS FOLLOWS:  
-CLEAR FORWARD APPROACH: 48" MAX. A.F.F., 15" MIN. A.F.F.  
-FORWARD APPROACH OVER OBSTRUCTION: PER CBC FIG. 11B-5C (a)  
-CLEAR PARALLEL SIDE APPROACH: 54" MAX. A.F.F., 9" MIN. A.F.F.  
-SIDE APPROACH OVER OBSTRUCTION: PER CBC FIG. 11B-5C(d)
8. IF MEDICINE CABINETS ARE PROVIDED, AT LEAST ONE HAS A USABLE SHELF NO HIGHER THAN 44" ABOVE FLOOR.
9. PROVIDE APPROVED PROTECTIVE INSULATION WRAP AT HOT WATER SUPPLIES AND DRAIN PIPES. IF ADDITIONAL SPECIFICATIONS ARE PROVIDED IN THE CONTRACT DOCUMENTS, COMPLY WITH DETAILED REQUIREMENTS THEREIN.

**NOTE**

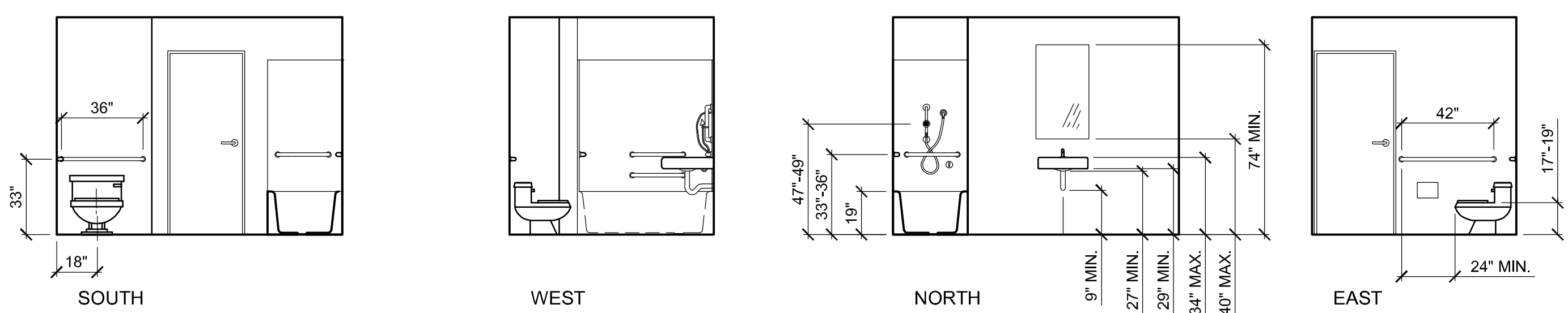
1. SEE SHEET A2.2 FOR KITCHEN ACCESSIBILITY NOTES.



**DEMOLITION PLAN**  
SCALE : 1/4"=1'-0"



**KITCHEN: INTERIOR ELEVATIONS**  
SCALE : 1/4"=1'-0"

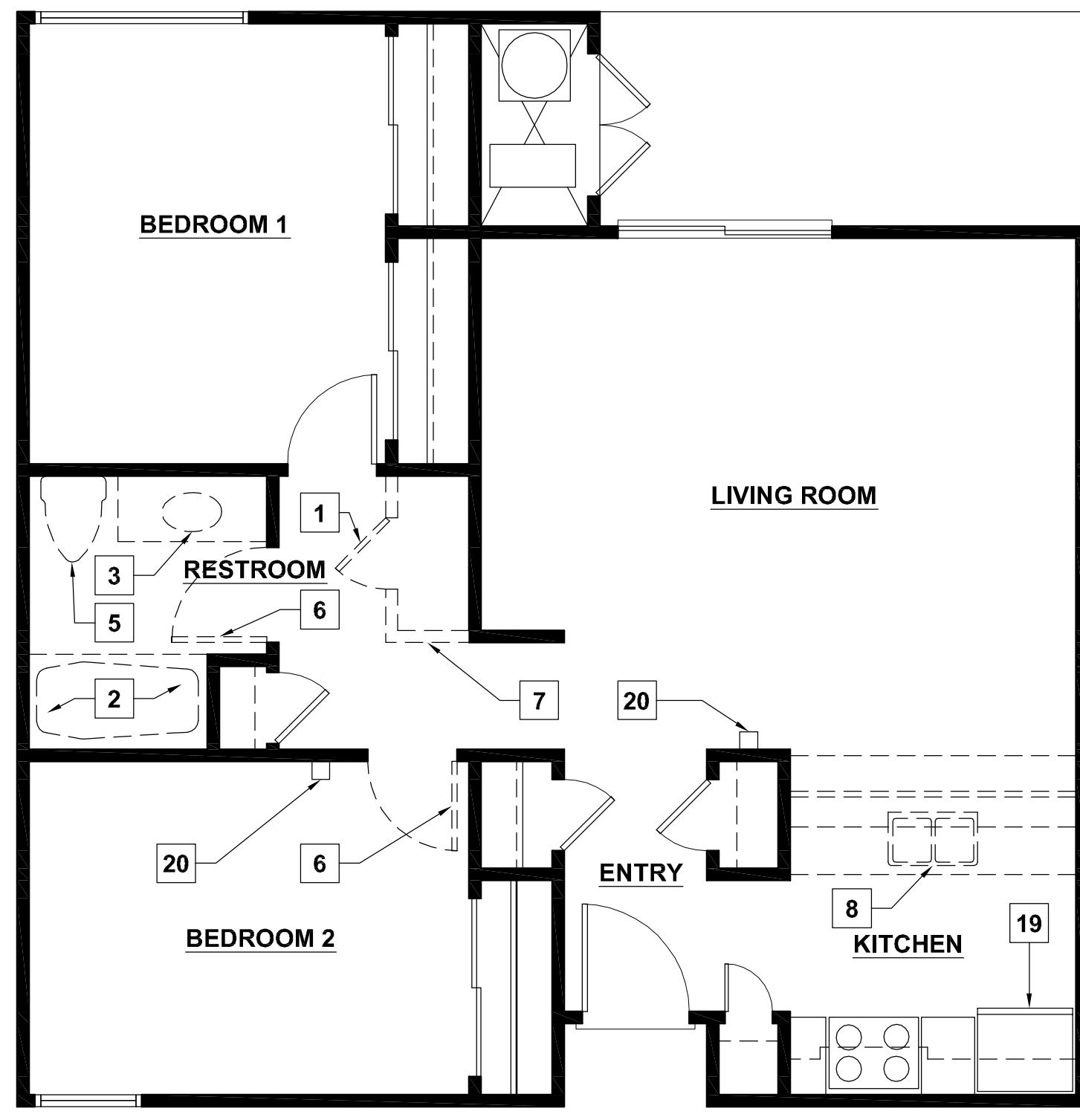
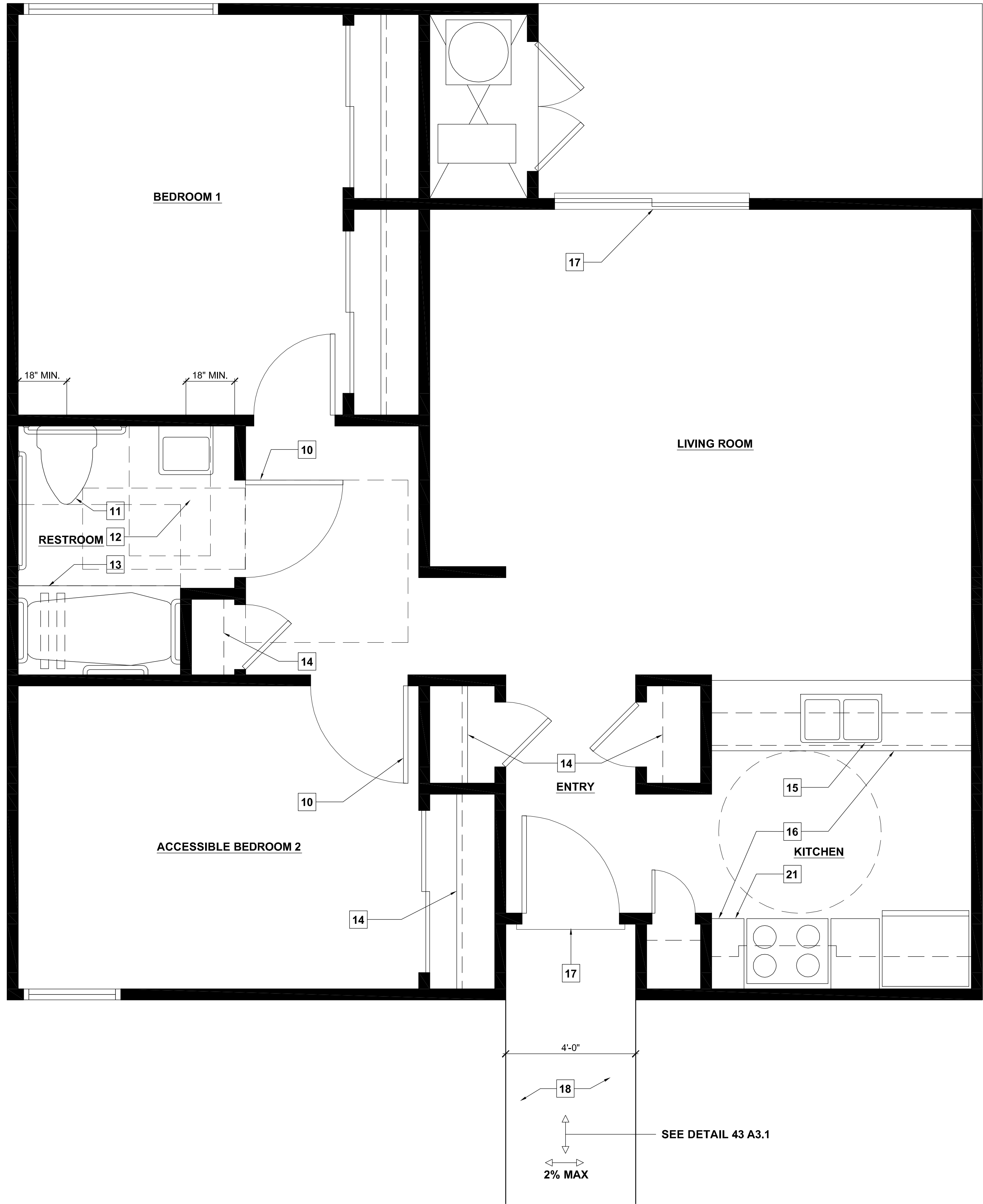


**RESTROOM: INTERIOR ELEVATIONS**  
SCALE : 1/4"=1'-0"

**ACCESSIBLE FLOOR PLAN**  
SCALE : 1/2"=1'-0"

SEE DETAIL 43 / A3.1  
4'-0" MIN.  
18"  
2% MAX

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**KEYNOTES**

1. REMOVE CLOSET DOORS AND SHELVES AND DEMOLISH WALLS.
2. REMOVE EXISTING NON-ACCESSIBLE TUB/SHOWER.
3. REMOVE EXISTING NON-ACCESSIBLE COUNTER TOP AND SINK. EXISTING PLUMBING LINES TO REMAIN AND PROTECT.
4. REMOVE EXISTING DOOR AND SHELVES AND DEMOLISH WALLS.
5. REMOVE EXISTING NON-ACCESSIBLE TOILET, CAP WATER AND WASTE LINES BELOW FLOOR FRAMING.
6. REMOVE EXISTING DOOR AND FRAME.
7. DEMOLISH WALL AS SHOWN.
8. REMOVE EXISTING NON-ACCESSIBLE SINK.
9. FILL FRAME EXISTING DOORWAY.
10. NEW 3'-0" x 6'-8" DOOR WITH LEVER HARDWARE.
11. NEW ACCESSIBLE WATER CLOSET AND GRAB BARS. SEE DETAIL 11 / A3.2 FOR GRAB BAR INSTALLATION.
12. NEW ACCESSIBLE LAVATORY.
13. NEW ACCESSIBLE BATH / SHOWER.
14. ADJUST SHELVES TO COMPLY WITH THE 2007 CBC SECTION 1127A.11.
15. NEW ACCESSIBLE SINK.
16. NEW ACCESSIBLE KITCHEN COUNTERS AND CABINETS.
17. CREATE ACCESSIBLE THRESHOLD AT DOOR. SEE DETAIL 52 / A31.
18. NEW ACCESSIBLE PATH OF TRAVEL.
19. REPLACE REFRIGERATOR w/ SIDE-BY-SIDE OR BOTTOM FREEZER MODEL. VISIBLE AND AUDIO FIRE ALARM DEVICE.
21. PROVIDE ACCESSIBLE COMMON SWITCH FOR RANGEHOOD AND FAN. SEE INTERIOR ELEVATIONS.

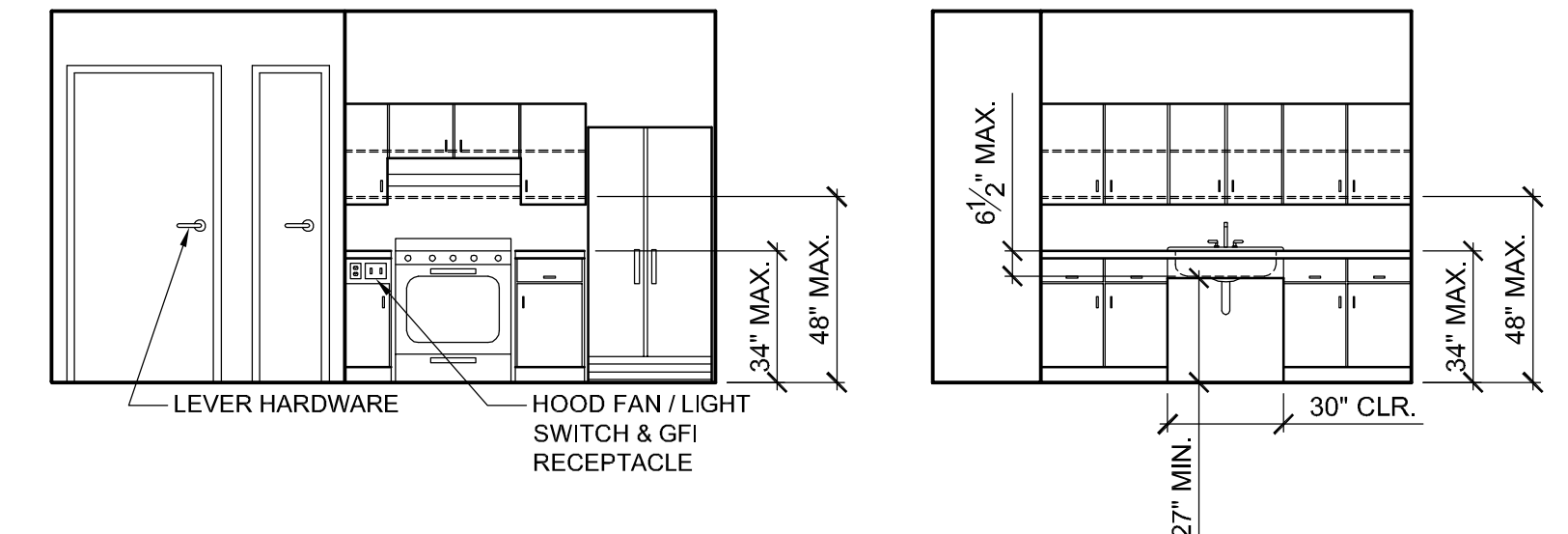
**NOTE:**

1. REFER TO SHEET A2.1 FOR RESTROOM ACCESSIBILITY NOTES.
2. REFER TO SHEET A3.2 FOR ACCESSIBILITY DETAILS.

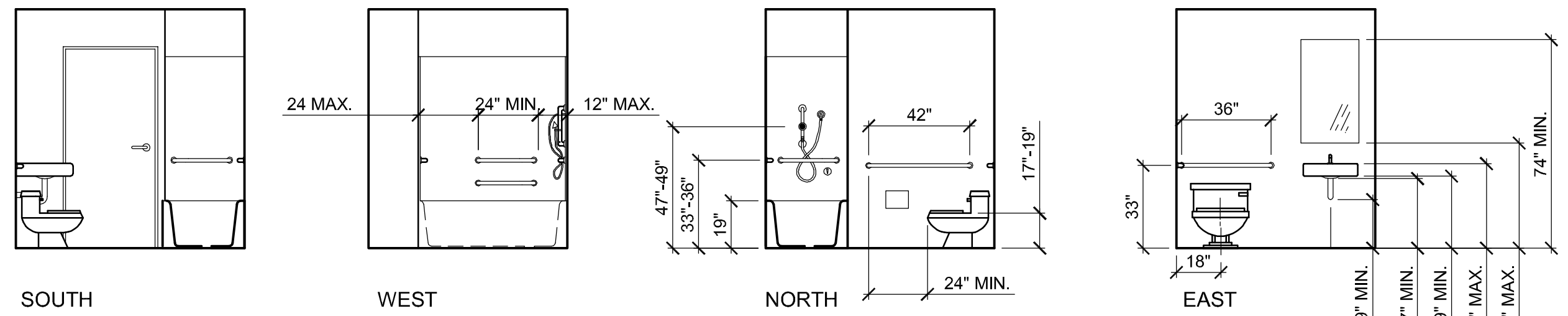
**KITCHEN ACCESSIBILITY REQUIREMENTS**

1. MINIMUM 30"x48" CLEAR SPACE PROVIDED IN FRONT OF SINK THAT ALLOWS FORWARD APPROACH.
2. 34" MAXIMUM HEIGHT OF RM OR COUNTER ABOVE FLOOR SURFACE.
3. SINK IS A MAXIMUM OF 6-1/2" DEEP.
4. KNEE CLEARANCE UNDER SINK IS A MINIMUM OF 27" HIGH AND 30" WIDE, AND PROVIDES AN ABSOLUTE DEPTH OF 19" UNDERNEATH THE SINK.
5. DRAIN AND HOT WATER PIPING IS INSULATED OR CONDIFORMED TO PREVENT CONTACT.
6. FAUCETS ARE LEVER TYPE.
7. FAUCETS ARE OPERABLE WITH ONE HAND AND DO NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST WITH MAX. OF 5lbs OF FORCE REQUIRED TO ACTIVATE.
8. MINIMUM OF 40" CLEAR BETWEEN OPPOSITE CABINETS.
9. WALL CABINET STORAGE ABOVE WORK SURFACE 48" MAX HEIGHT, TYP.
10. CABINET HARDWARE MUST BE ACCESSIBLE.
11. 30"x48" MINIMUM CLEAR SPACE AT ALL APPLIANCES.

**DEMOLITION PLAN**  
SCALE: 1/4"=1'-0"



**KITCHEN: INTERIOR ELEVATIONS**  
SCALE: 1/4"=1'-0"



**RESTROOM: INTERIOR ELEVATIONS**  
SCALE: 1/4"=1'-0"

PROJECT

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**ROLLING HILLS APARTMENTS**

TEMPLETON, CA

CLIENT JOB # ARCHITECT JOB #

0708B

**F. SEI 'E ARCHITECTS**

PROJECT MANAGER BDF

DRAWN BY DDL

DATES 22 Feb 10 - Plan Check 1

SIGNED

LICENSED ARCHITECT  
BRUCE DOUGLAS FRISER  
C 9787  
EXPIRES 12/31/11  
STATE OF CALIFORNIA

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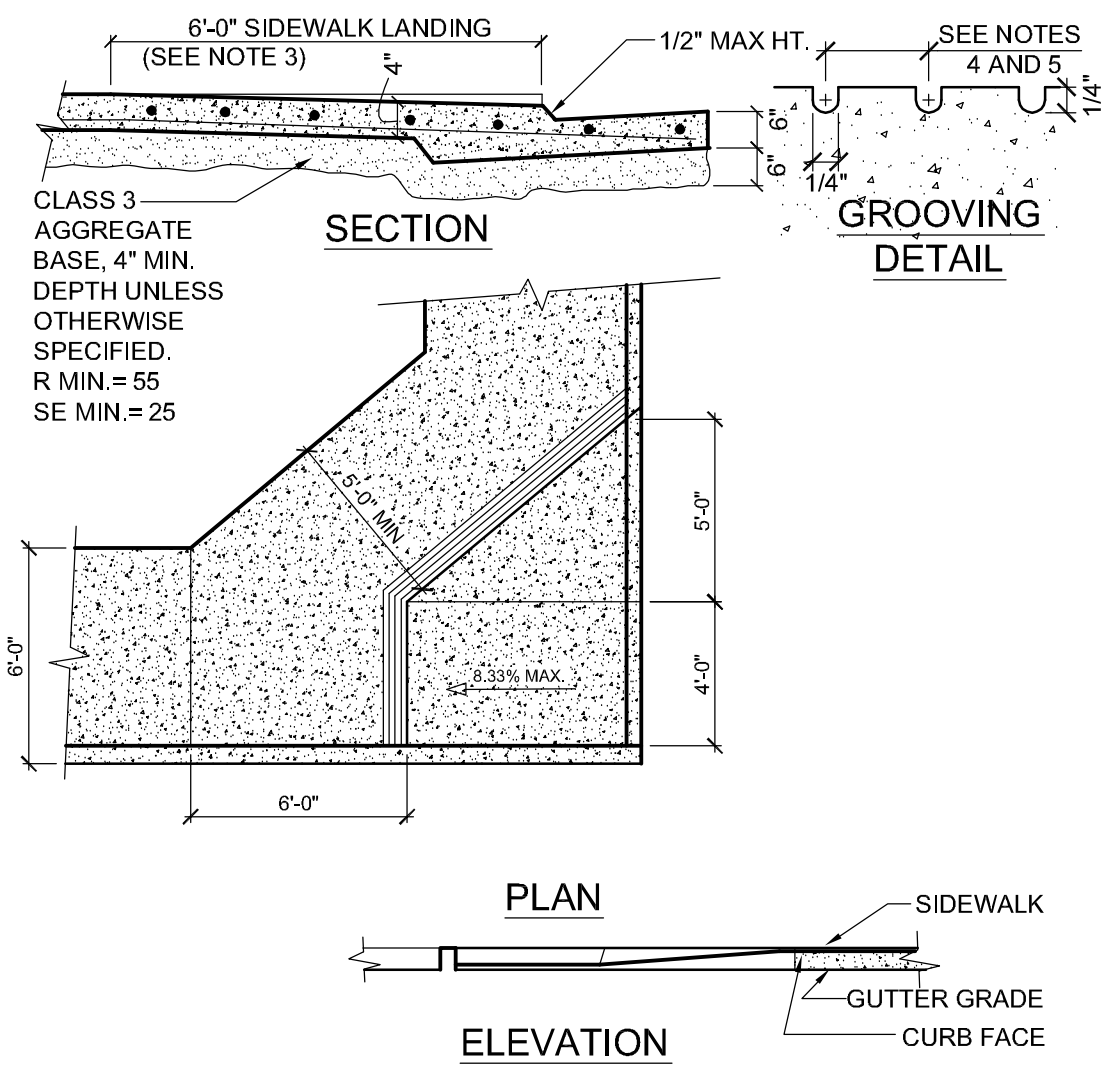
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SHEET TITLE

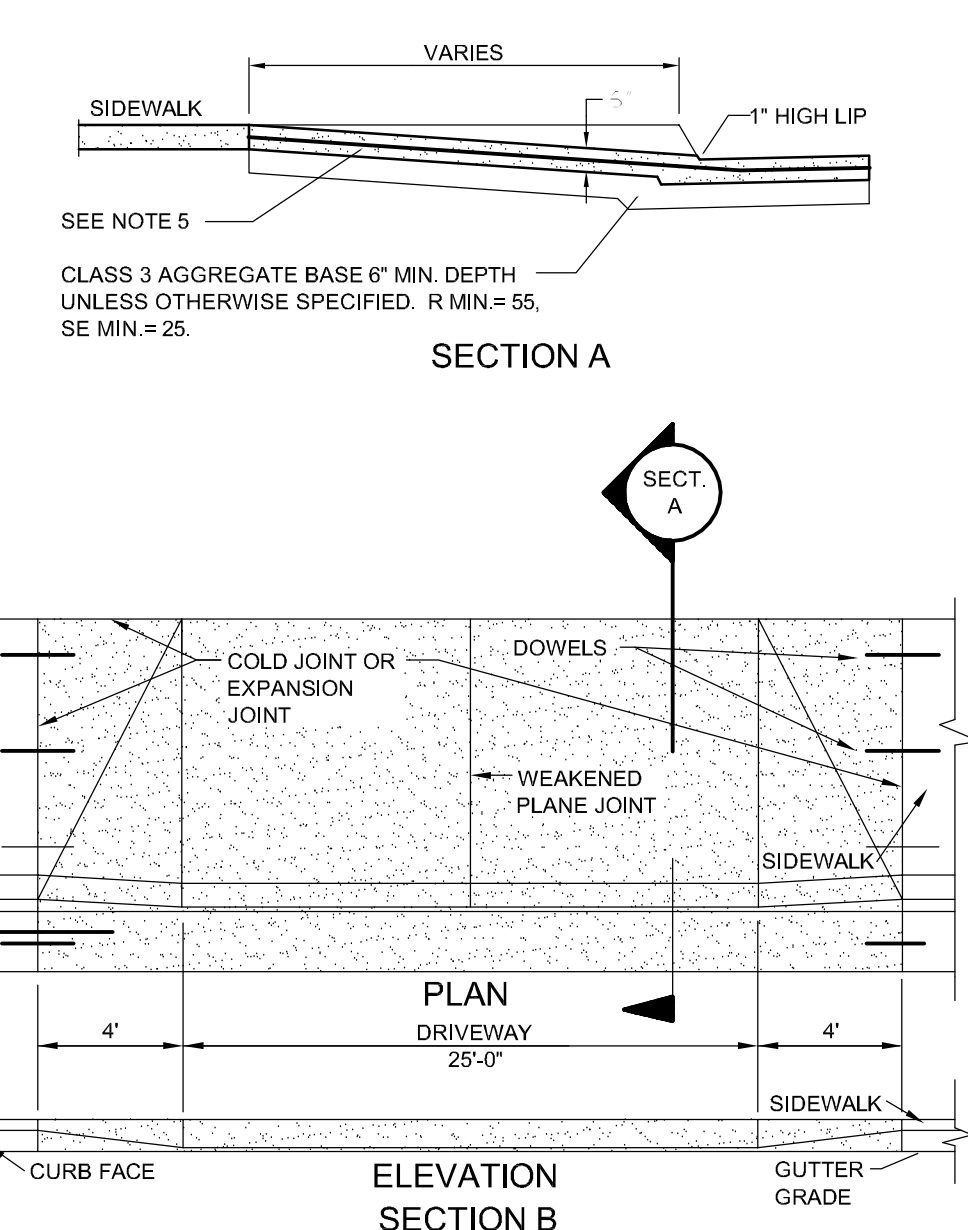
**2 BEDROOM FLAT ACCESSIBILITY REMODEL**

SHEET #

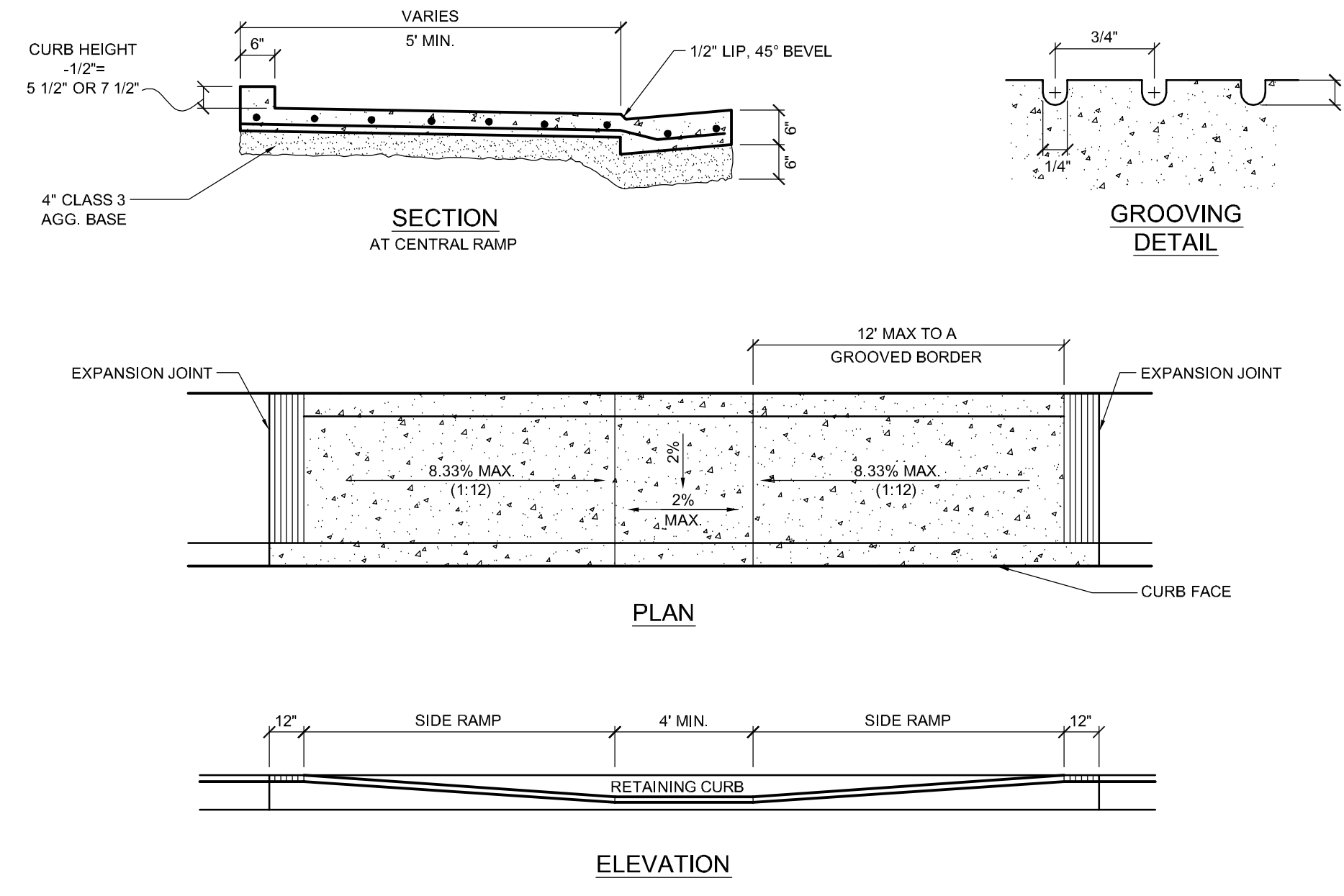
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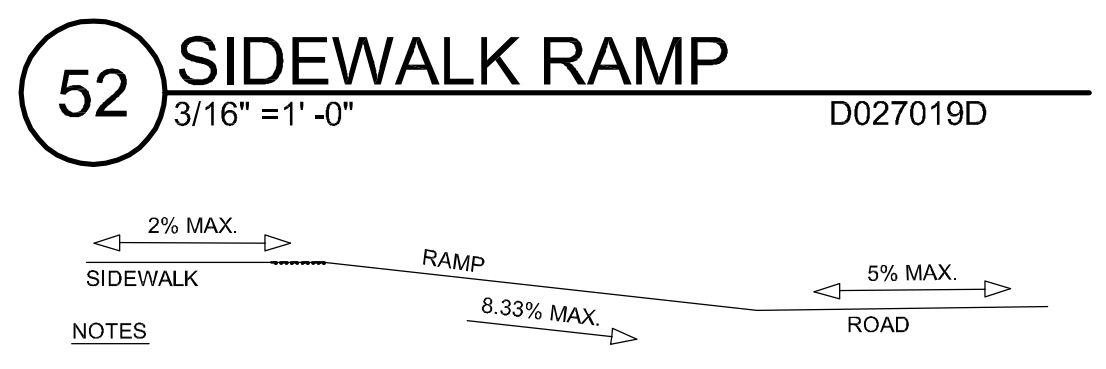
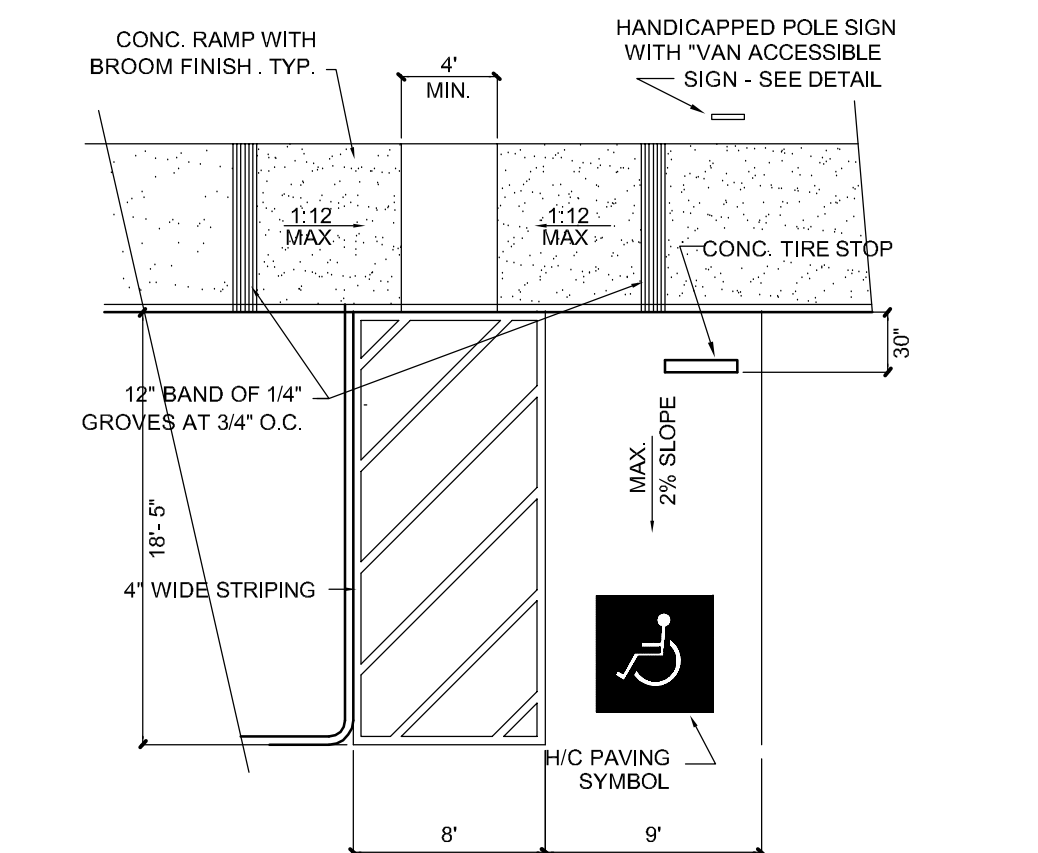
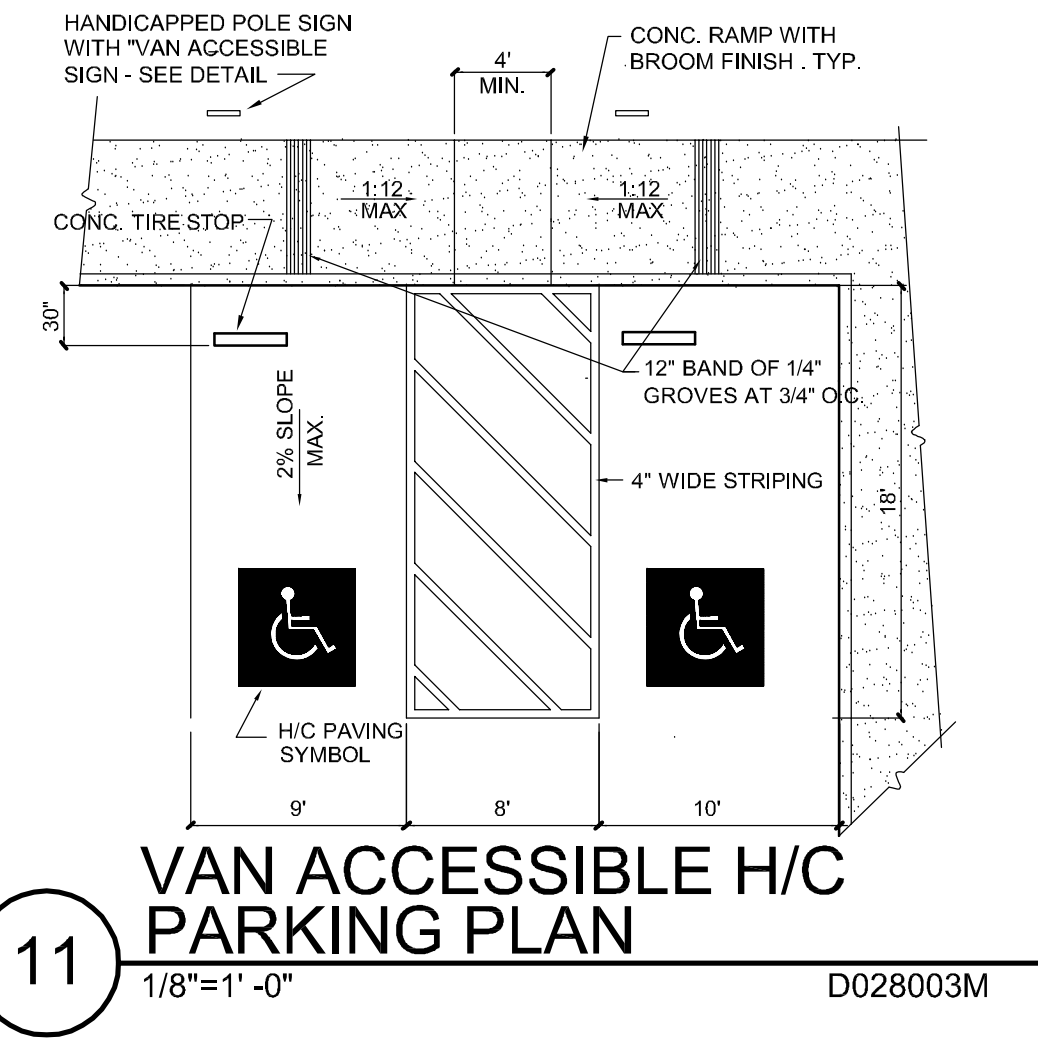
- NOTES**
- RAMP WIDTH SHALL BE A FLAT PLANE WITH NO CROSS SLOPE, A MINIMUM OF 4' WIDE AT THE REAR AND A MINIMUM OF 4'-0" WIDE AT THE CURB EDGE. SLOPE OF RAMP WIDTH SHALL BE A STRAIGHT GRADE FROM THE TOP OF THE 1/2" LIP, AT THE GUTTER, TO THE REAR OF THE RAMP. SLOPE OF THE RAMP WIDTH SHALL NOT EXCEED 1" RISE PER 12" OF RUN. SLOPE OF RAMP SIDES SHALL NOT EXCEED 1" RISE PER 10" OF RUN.
  - A SIDEWALK LANDING, A MIN. OF 4' DEEP, SHALL BE PROVIDED AT THE REAR OF THE RAMP.
  - A 1/2" LIP SHALL BE PROVIDED AT THE GUTTER LINE WITH A TOLERANCE OF ±1/8". THE LIP SHALL BE BEVELED AT 45° FOR THE FULL RAMP WIDTH, NOT INCLUDING RAMP SIDE SLOPES.
  - DOWELS TO EXPANSION JOINTS SHALL BE 1/2" SMOOTH BARS 18" LONG AT 24" O.C., TO BE SLEEVED OR GREASED.
  - THE RAMP SHALL HAVE A 12" WIDE GROOVED BORDER WITH 1/4" GROOVES AT APPROX. 3/4" O.C. (SEE GROOVING DETAIL).
  - ENTIRE RAMP SHALL BE REINFORCED WITH #3 REBAR @ 18" O.C.



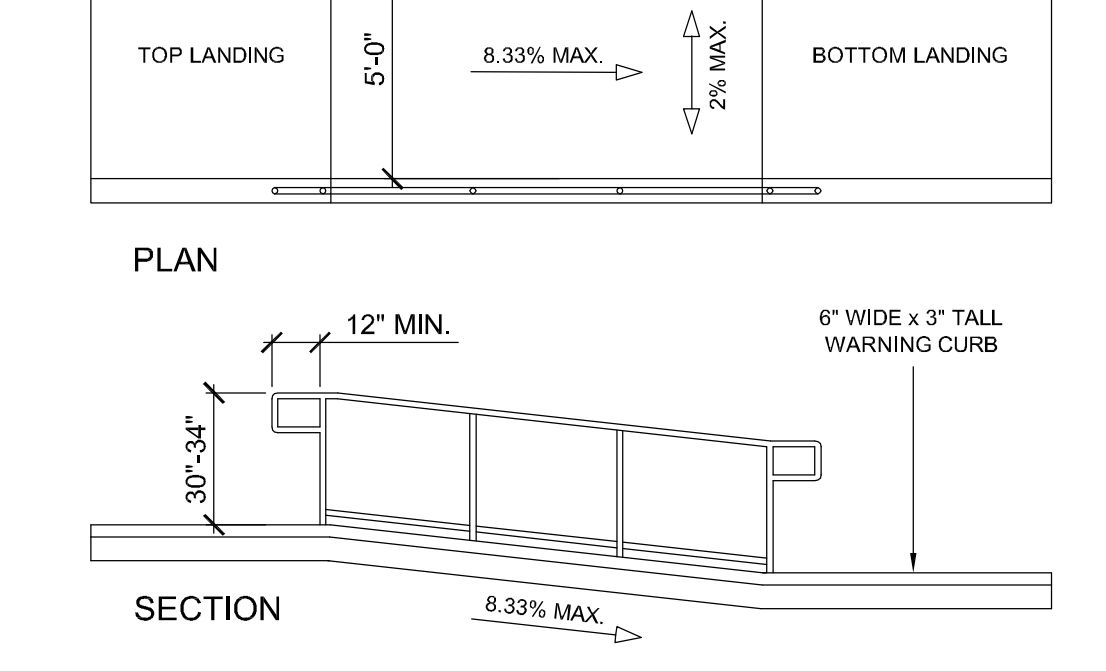
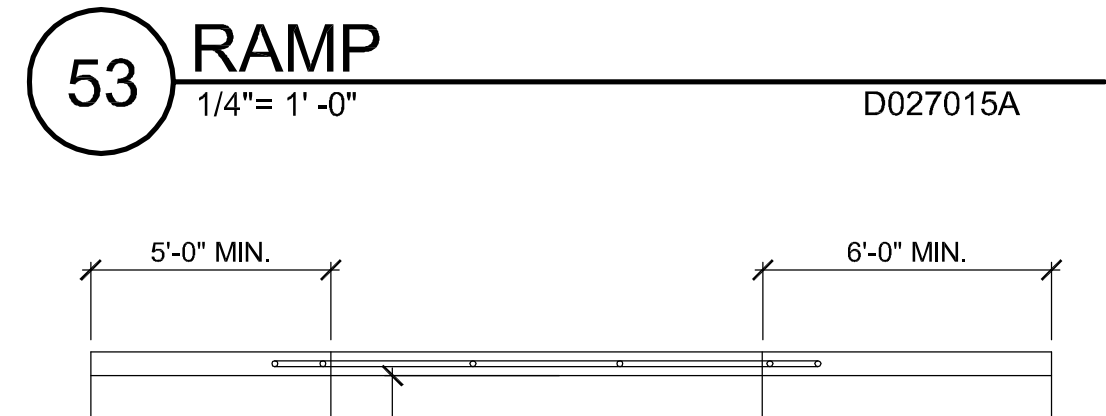
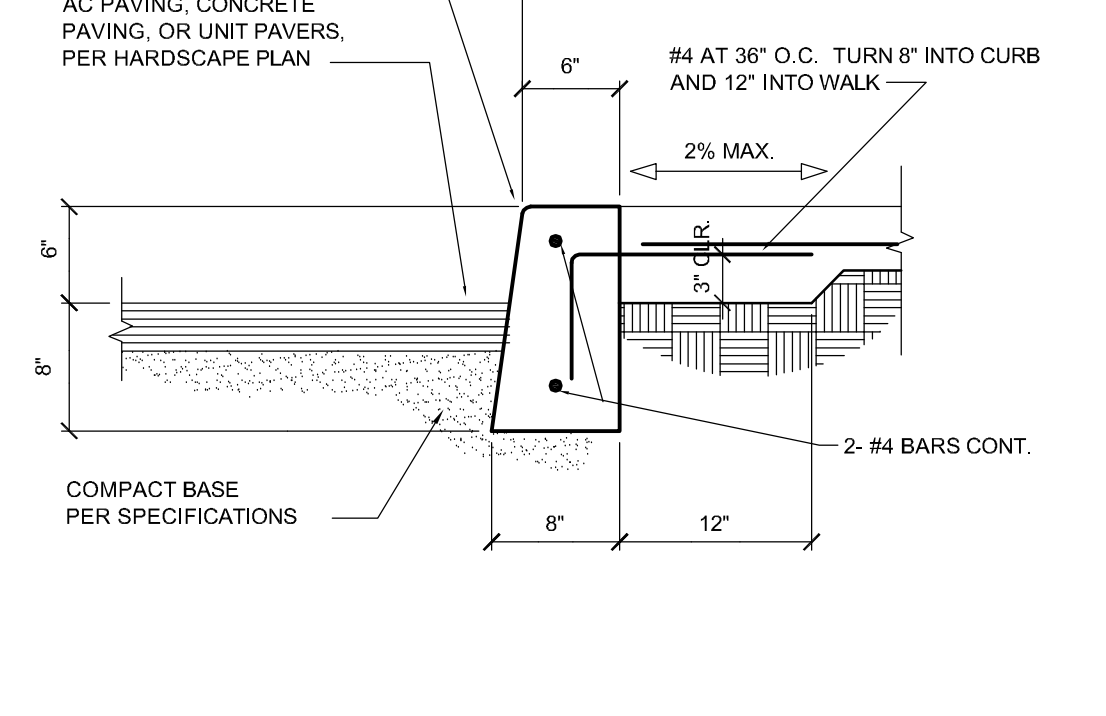
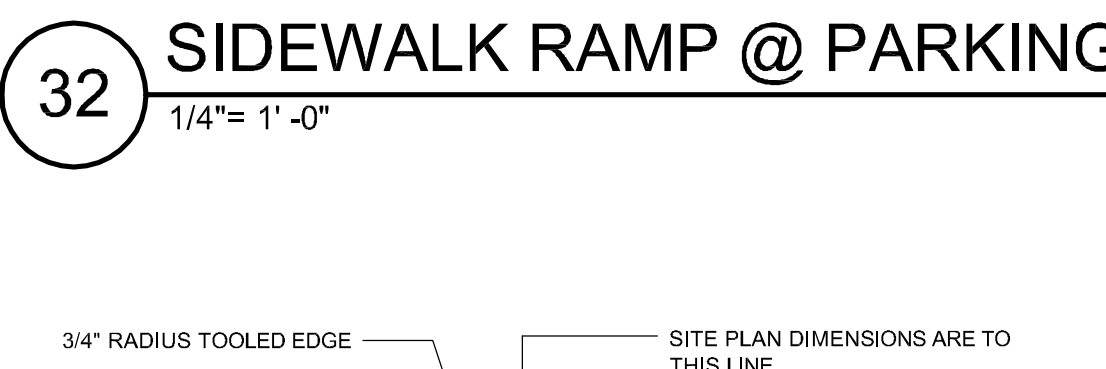
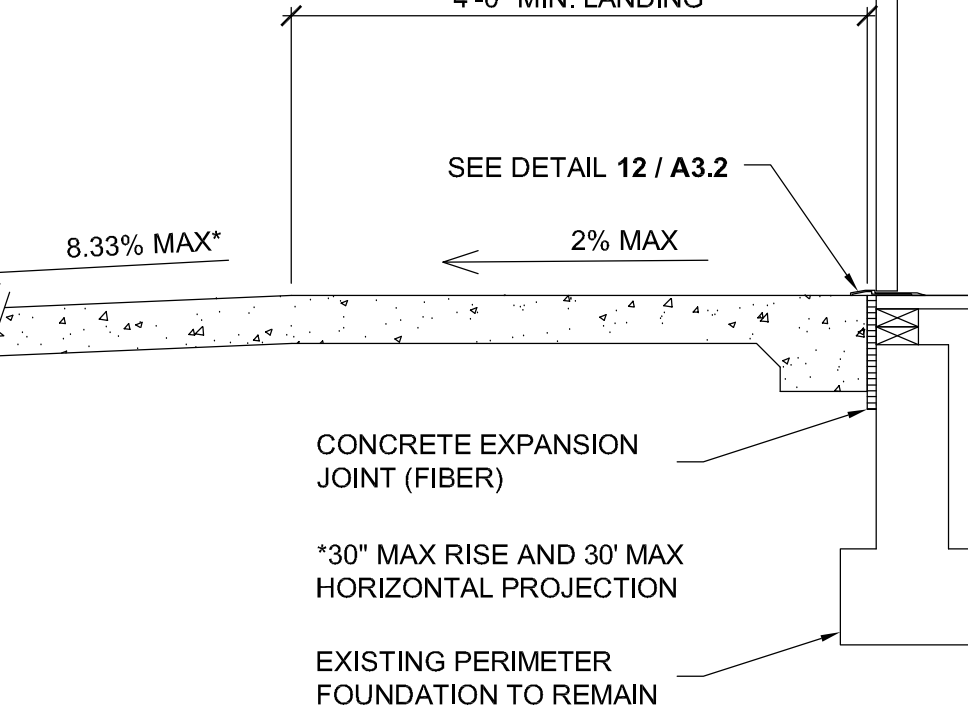
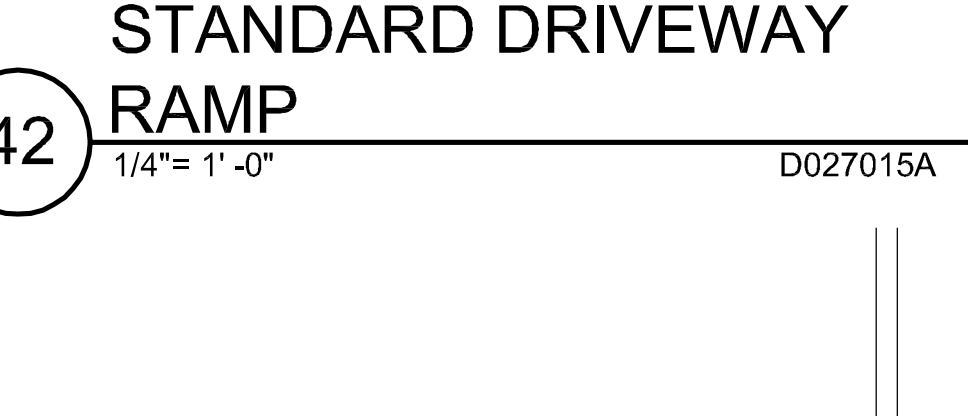
- NOTES**
- A DEPRESSION IN A NEW CURB AND GUTTER FOR A DRIVEWAY WILL NOT BE PERMITTED UNLESS THE RAMP IS CONSTRUCTED ALSO.
  - SLOPE OF RAMP IS A STRAIGHT GRADE FROM THE TOP OF THE BACK OF THE SIDEWALK TO THE TOP OF THE 1" LIP AT THE GUTTER.
  - CONCRETE SHALL BE 5-SACK, SLUMP: 2" MIN. 4" MAX.
  - DOWELS AT EXPANSION, OR COLD, JOINT WITH NEW CONSTRUCTION SHALL BE 1/2" SMOOTH BARS, 18" LONG AT 24" O.C. ONE END SHALL BE SLEEVED OR GREASED.
  - ALL COMMERCIAL AND INDUSTRIAL DRIVEWAYS, AND ALL DRIVEWAYS SERVING MORE THAN SIX (6) PARKING SPACES SHALL BE REINFORCED WITH REBAR, EITHER #3 @ 18" O.C. OR 24" O.C.
  - GUTTER CONSTRUCTION ADJACENT TO EXISTING A.C. PAVING SHALL INCLUDE SAWCUTTING, REMOVAL, AND REPLACEMENT OF A.C. PAVING 18" MIN. FROM EDGE OF GUTTER, 2" THICKER THAN EXISTING, 5" MIN.



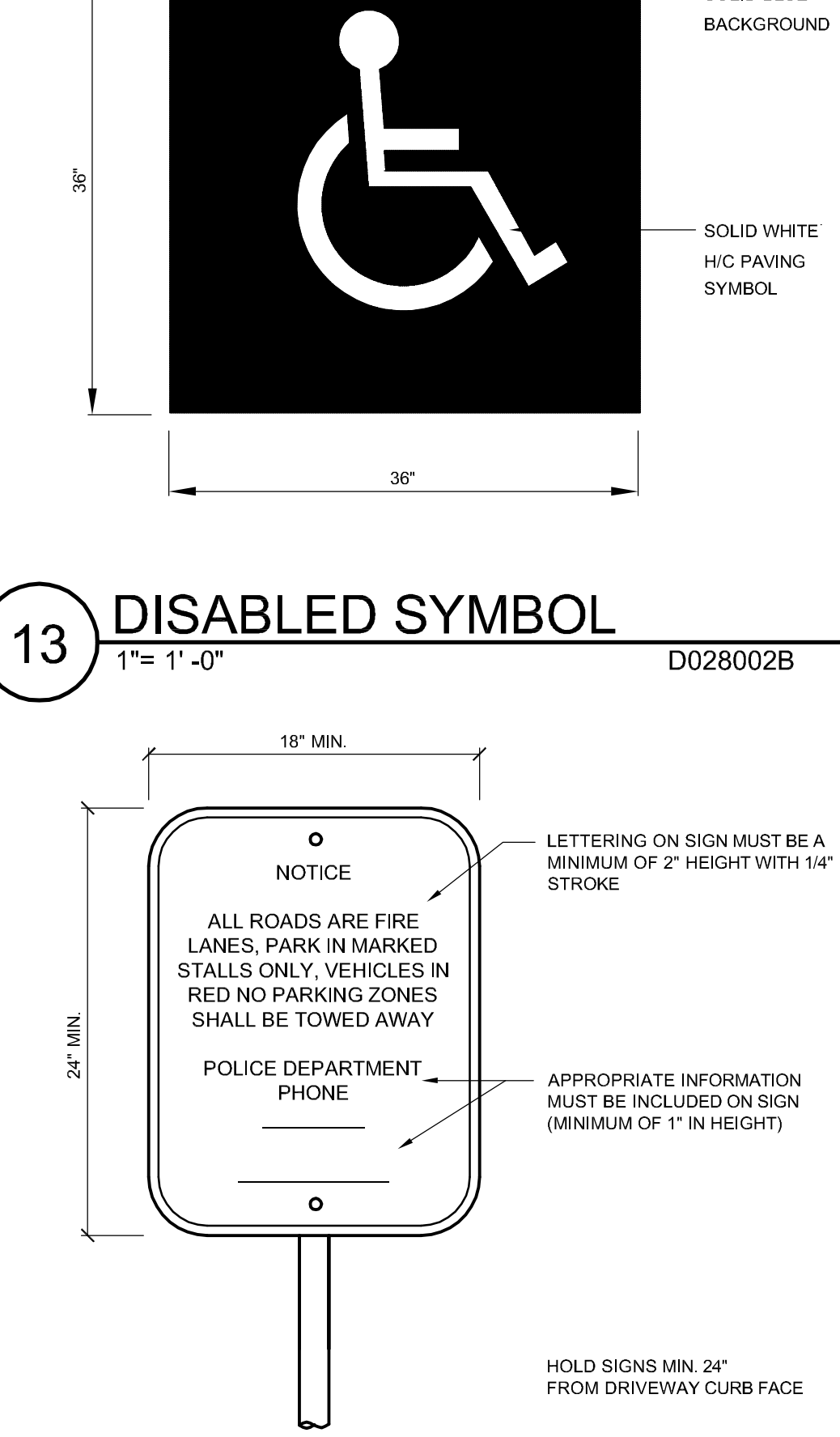
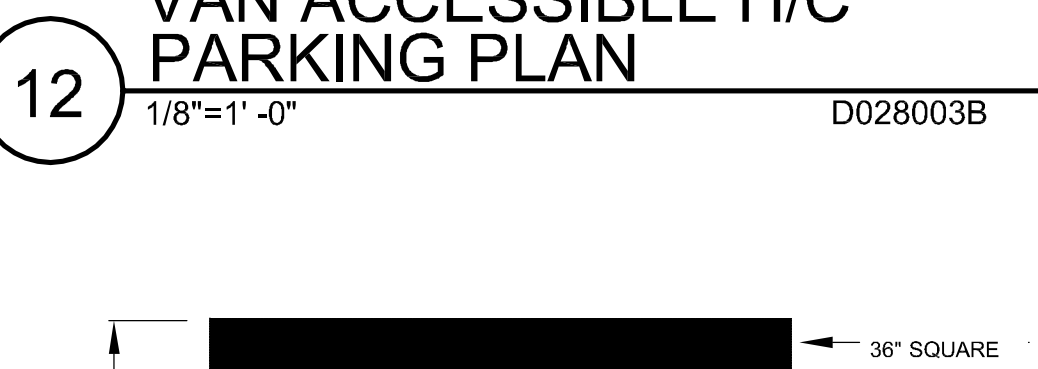
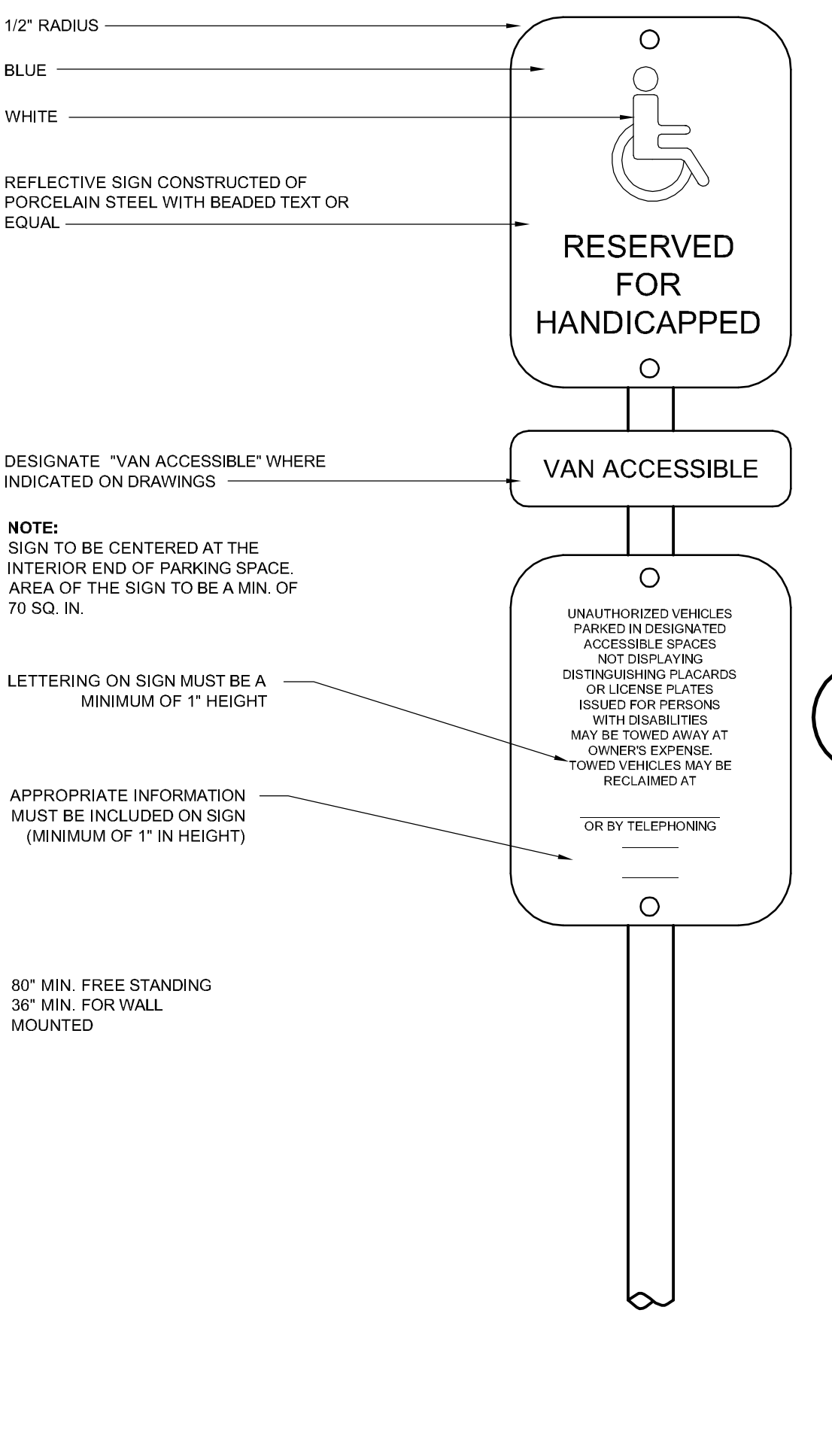
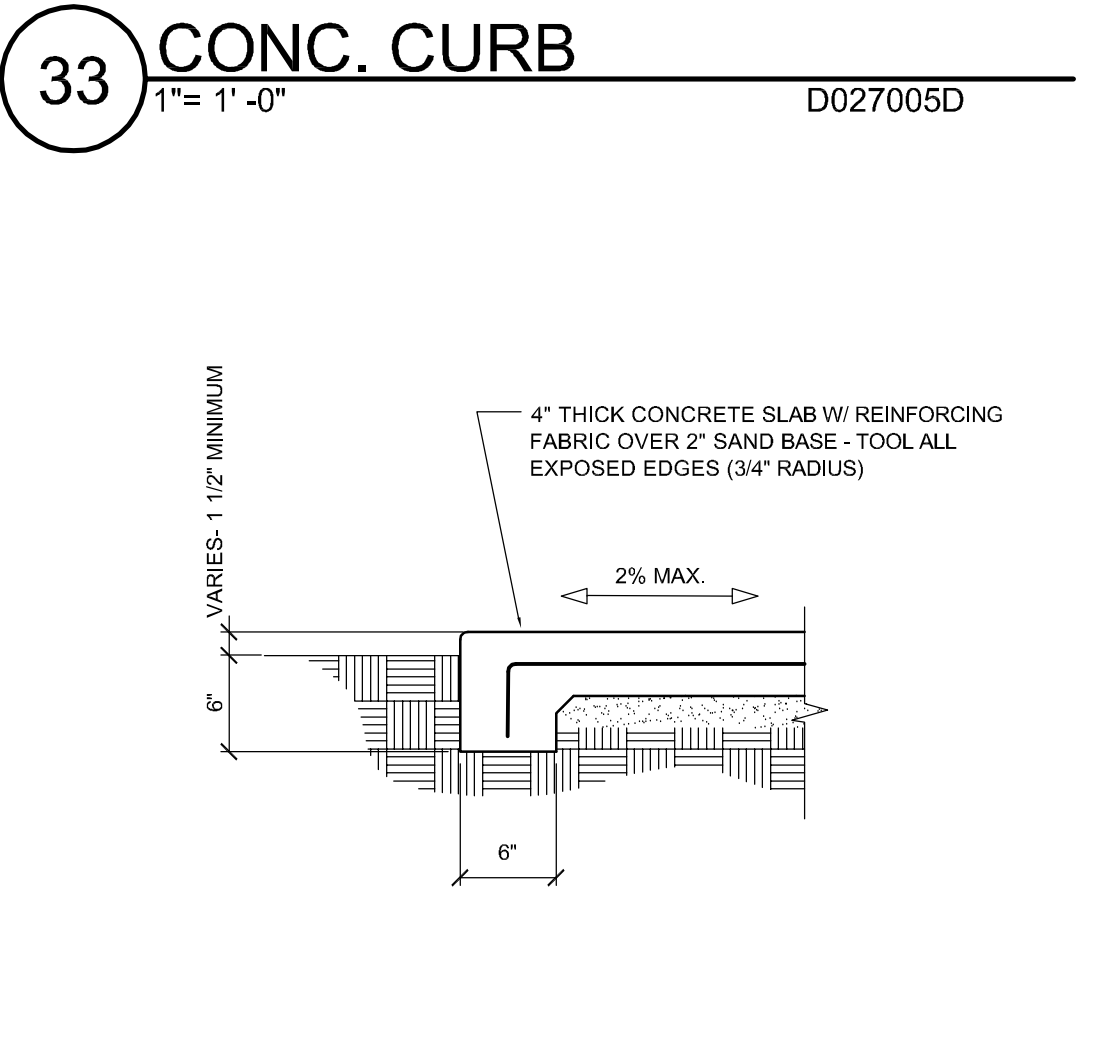
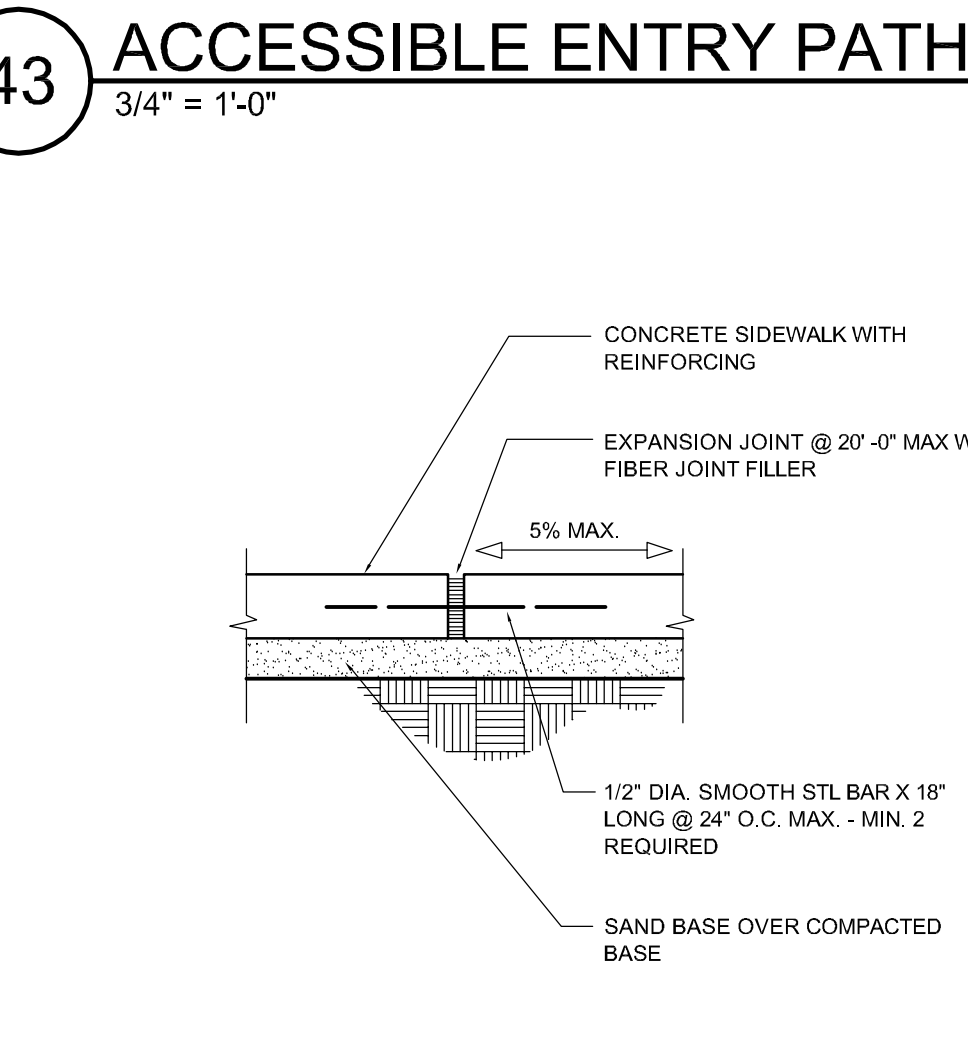
- CENTRAL RAMP SHALL BE A FLAT PLANE WITH 2% SLOPE TOWARD THE STREET, AND NO MORE THAN 2% CROSS-SLOPE PARALLEL TO THE STREET. CENTRAL RAMP SHALL BE A MINIMUM OF 4' WIDE, AND HAVE A 1/2" LIP AT THE GUTTER, BEVELED AT 45° FOR THE FULL WIDTH.
- SIDE RAMP SHALL BE FLAT PLANES WITH 2% SLOPE TOWARD THE STREET, AND NO MORE THAN 8.33% TOWARD THE CENTRAL RAMP.
- ENTIRE RAMP SHALL HAVE RETAINING CURB ALONG REAR EDGE, FLUSH WITH ADJACENT SIDEWALK, AND FOLLOWING NORMAL BACK-OF-SIDEWALK GRADE.
- RAMP LOCATION SHALL BE DETERMINED BY CITY ENGINEER.
- THIS RAMP DESIGN SHALL NOT BE USED WITHOUT CONSIDERATION FOR STREET GRADE AND DRAINAGE. DUE TO UNUSUAL OR DIFFICULT SITE CONDITIONS, THE ABOVE REQUIREMENTS MAY BE DIFFICULT OR IMPOSSIBLE TO MEET. EXCEPTIONS MAY BE GRANTED ON AN INDIVIDUAL BASIS BY THE CITY ENGINEER.
- CENTRAL AND SIDE RAMP SHALL HAVE A MEDIUM BROOM FINISH.
- CONCRETE SHALL BE CLASS B, 5-SACK, SLUMP 2" MIN. TO 4" MAX.
- RAMP SHALL HAVE EXPANSION JOINTS AT LOCATIONS SHOWN. DOWELS AT EXPANSION JOINTS SHALL BE 1/2" SMOOTH BARS, 18" LONG AT 24" O.C. TO BE SLEEVED OR GREASED.
- GUTTER CONSTRUCTION ADJACENT TO EXISTING A.C. PAVING SHALL INCLUDE SAWCUTTING, REMOVAL AND REPLACEMENT OF A.C. PAVING 18" MIN. FROM EDGE OF GUTTER, 2" THICKER THAN EXISTING, 5" MIN.
- SIDEWALK AT TOP OF EACH SIDE RAMP SHALL HAVE A 12" WIDE GROOVED BORDER WITH GROOVES 3/4" APART (SEE GROOVING DETAIL).
- ENTIRE RAMP SHALL BE REINFORCE WITH REBAR, EITHER #3 AT 18" O.C. OR #4 AT 24" O.C. BOTH WAYS.
- IF DISTANCE TO TOP OF RAMP EXCEEDS 12', PLACE PLACE ADDITIONAL GROOVED BORDER AT 12' FROM BOTTOM.



- NOTES**
- 48" MINIMUM WIDTH OF RAMP.
  - SURFACE SLOPE DOES NOT EXCEED 8.33%.
  - FINISHED SURFACE OF RAMP CONTRASTS FROM ADJACENT SIDEWALK, AND IS STABLE, FIRM AND SLIP RESISTANT (MEDIUM-BROOM FINISH OR EQUIVALENT).
  - SLOPE OF LANDINGS DOES NOT EXCEED 2% IN ANY DIRECTION.
  - RAMP DOES NOT PROJECT INTO VEHICULAR TRAFFIC LANES.
  - TRANSITIONS FROM RAMPS TO WALKS, GUTTERS OR STREETS ARE FLUSH AND FREE OF ABRUPT CHANGES.
  - A 12" GROOVED BORDER IS PROVIDED ALONG THE TOP OF THE RAMP AT THE LEVEL SURFACE OF THE SIDEWALK.
  - THE SLOPES OF THE ROAD, GUTTER, OR ACCESSIBLE ROUTE ADJOINING THE CURB RAMP DO NOT EXCEED A 5% GRADIENT WITHIN 4' OF THE CURB RAMP.



- NOTES**
- HANDRAILS ARE REQUIRED ON PEDESTRIAN RAMPS THAT PROVIDE ACCESS IF RAMP EXCEEDS 5% SLOPE.
  - FINISH HEIGHT OF HANDRAILS ARE BETWEEN 30"-34" ABOVE RAMP SURFACE.
  - HANDRAILS EXTEND A MINIMUM OF 12" OF LEVEL DISTANCE BEYOND TOP AND BOTTOM OF THE RAMP AND ARE RETURNED.
  - GRIP PORTION OF HANDRAIL IS BETWEEN 1-1/4" - 1-1/2" IN DIAMETER.
  - HANDRAILS HAVE ENOUGH MINIMUM STRUCTURAL STRENGTH TO SUPPORT A 250LB. POINT LOAD.
  - ENDS OF HANDRAILS ARE EITHER ROUNDED OR RETURNED SMOOTHLY TO THE FLOOR, WALL OR POST.



PROJECT: ACCESSIBILITY IMPROVEMENTS

# ROLLING HILLS APARTMENTS

TEMPLETON, CA

CLIENT JOB #: ARCHITECT JOB #: 0708B

FRASER SEIPLE ARCHITECTS

PROJECT MANAGER: BDF

DRAWN BY: DDL

DATES: 22 Feb 10 - Plan Check 1

SIGNED: [Signature]

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THESE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

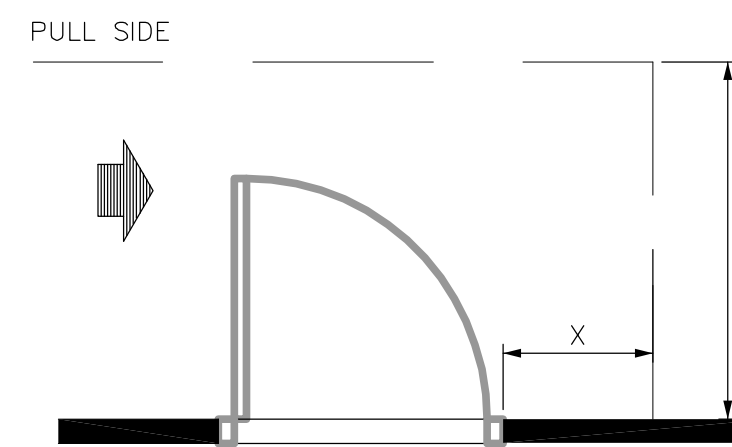
WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND EXISTING CONDITIONS ON THE JOB AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION PRIOR TO COMMENCING WORK.

SHEET TITLE: ACCESSIBILITY DETAILS

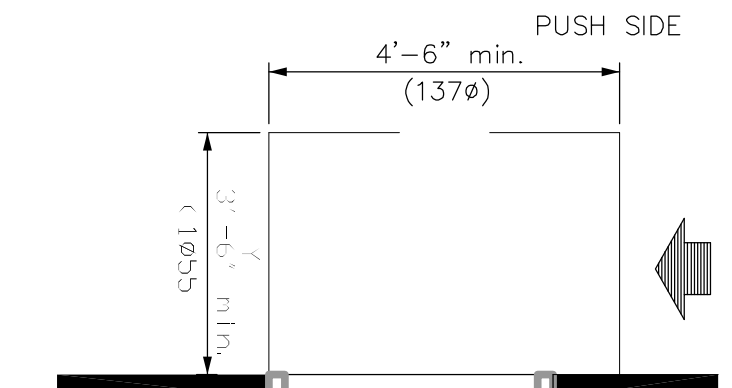
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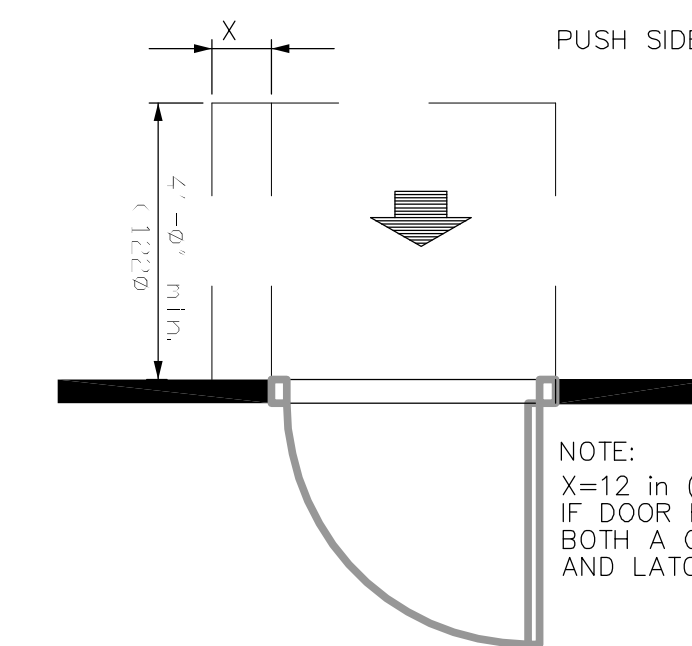
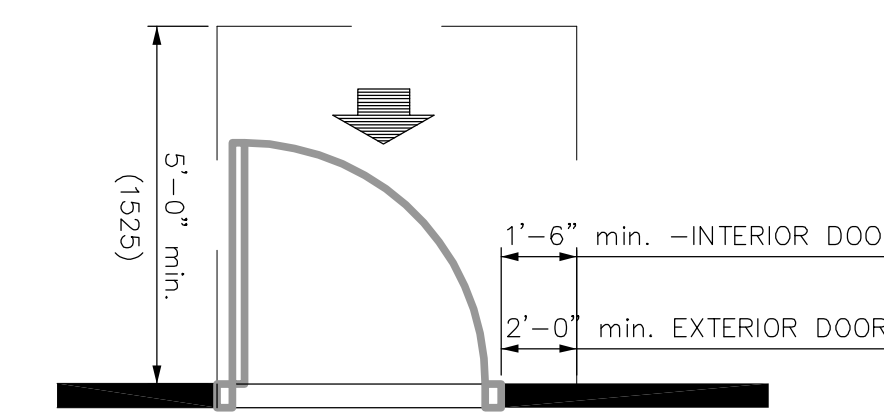


NOTE:  
 $X=36$  in (915mm) IF  $Y=66$  in (1525mm);  
 $Y=42$  in (1065) MINIMUM IF  $Y=54$  in (1370).



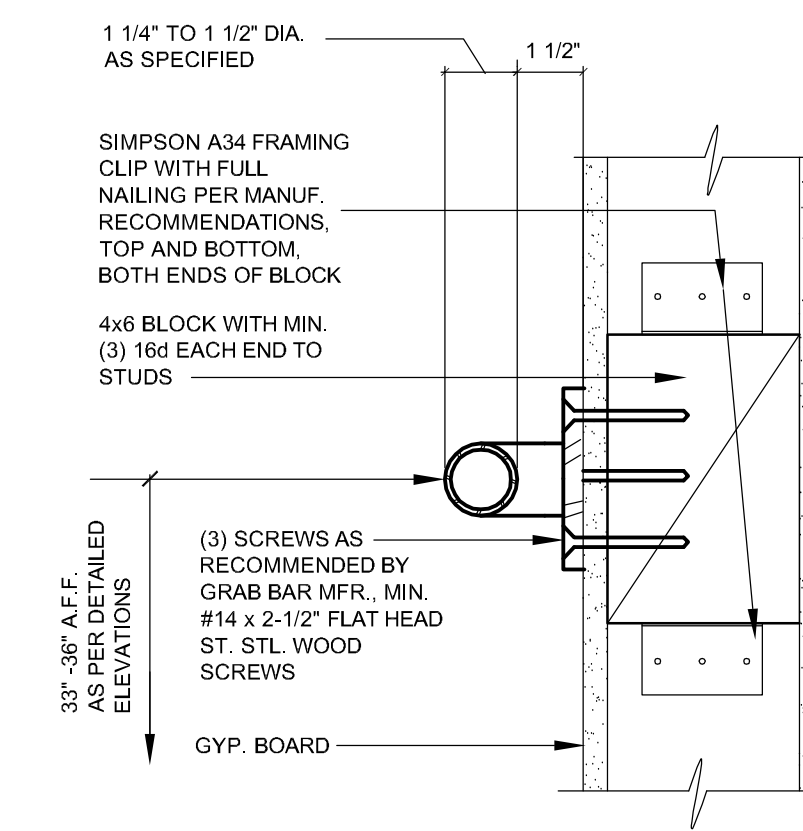
NOTE:  
 $Y=48$  in (1220mm) MINIMUM IF DOOR HAS BOTH A LATCH AND CLOSER.

PULL SIDE  
 PUSH SIDE  
 HINGE SIDE APPROACHES - SWINGING DOORS

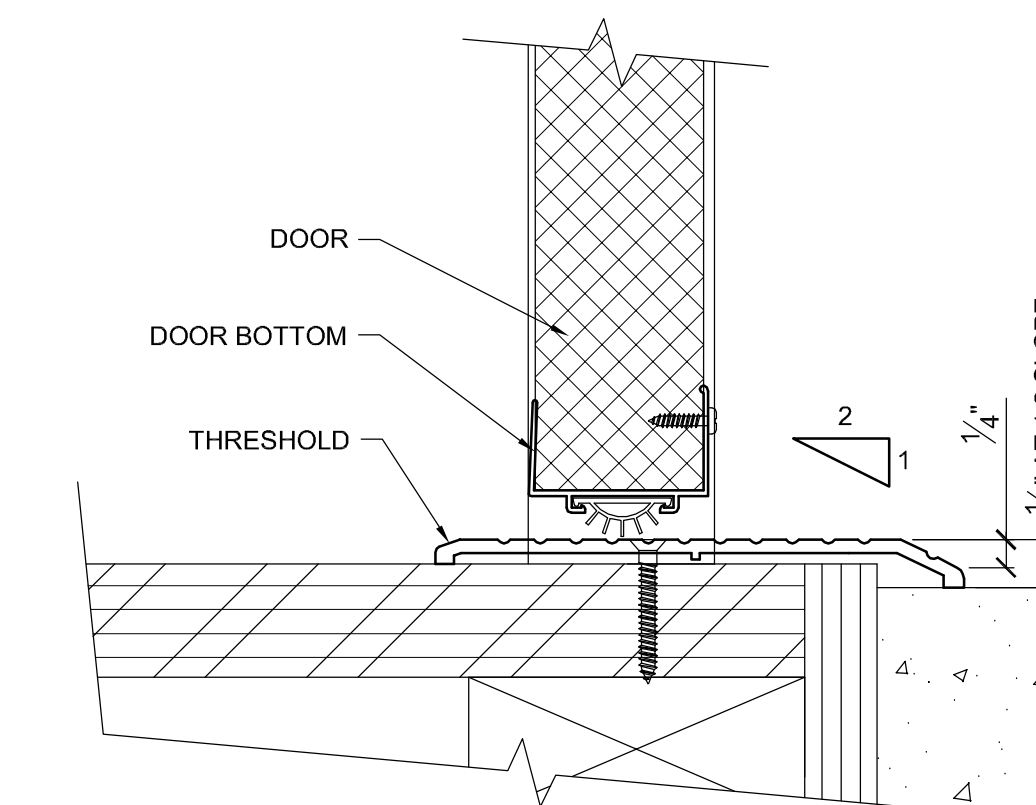


NOTE:  
 $X=12$  in (305mm) IF DOOR HAS BOTH A CLOSER AND LATCH

FRONT APPROACHES - SWINGING DOORS



11 TYP. GRAB BAR MOUNT  
 3"= 1'-0" D108001B



12 ACCESSIBLE THRESHOLD  
 6"= 1'-0"

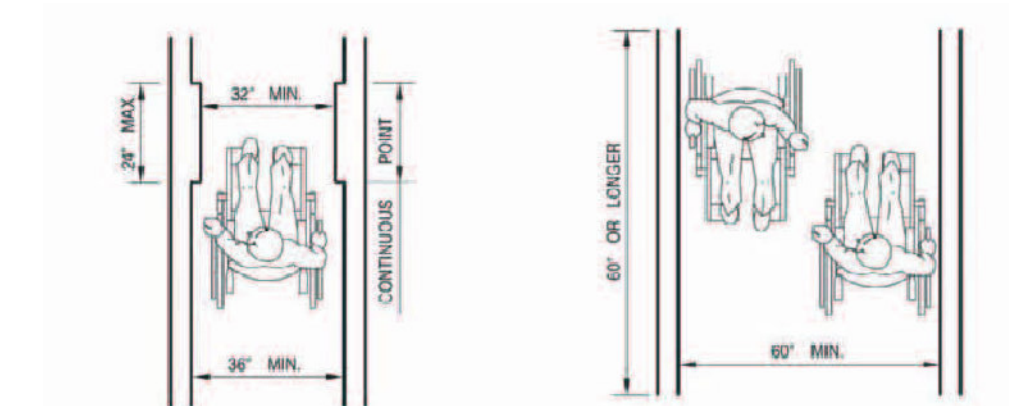


FIGURE 11A-1E—MINIMUM CLEAR WIDTH FOR SINGLE WHEEL CHAIR

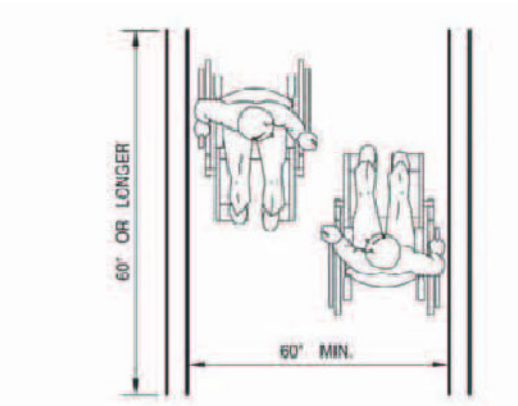
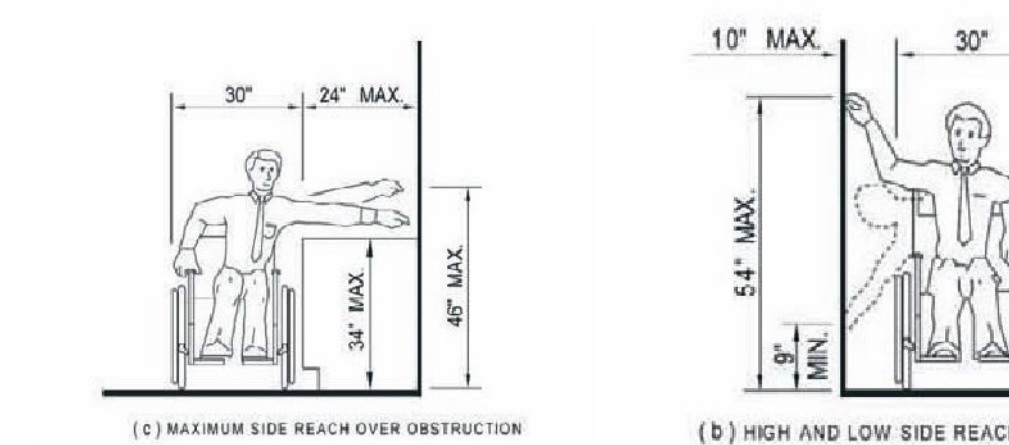


FIGURE 11A-1D—MINIMUM CLEAR WIDTH FOR TWO WHEEL CHAIRS

23 DOOR CLEARANCES  
 1/4"= 1'-0"

13 ACCESSIBLE PATHS  
 N.T.S.



(a) MAXIMUM SIDE REACH OVER OBSTRUCTION (b) HIGH AND LOW SIDE REACH LIMITS

THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION

FIGURE 11A-1J—SIDE REACH

14 PARALLEL REACH  
 N.T.S.

PROJECT

ACCESSIBILITY IMPROVEMENTS

ROLLING HILLS APARTMENTS

TEMPLETON, CA

CLIENT JOB # ARCHITECT JOB #  
 0708B

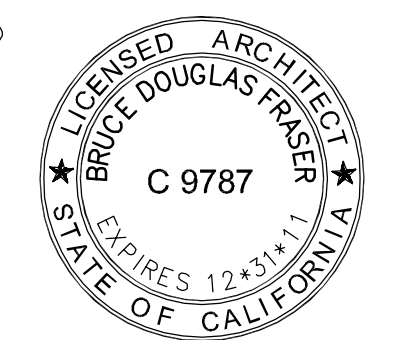


PROJECT MANAGER BDF

DRAWN BY DDL

DATES 22 Feb 10 - Plan Check 1

SIGNED



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SHEET TITLE

ACCESSIBILITY DETAILS

SHEET #

A3.2